



**Notice of a public meeting of
Planning Committee**

To: Councillors Fisher (Chair), Pavlovic (Vice-Chair), Ayre, Barker, D'Agorne, Daubeney, Doughty, Douglas, Fenton, Hollyer, Lomas, Looker, Melly, Waudby and Warters

Date: Thursday, 5 August 2021

Time: 4.30 pm

Venue: Dante room, York Racecourse

AGENDA

1. Declarations of Interest

At this point in the meeting, Members are asked to declare:

- any personal interests not included on the Register of Interests
- any prejudicial interests or
- any disclosable pecuniary interests

which they may have in respect of business on this agenda.

2. Minutes (Pages 3 - 10)

To approve and sign the minutes of the last meeting of the Planning Committee held on 17 June 2021.

3. Public Participation

At this point in the meeting members of the public who have registered to speak can do so. Members of the public may speak on agenda items or on matters within the remit of the committee.

Please note that our registration deadlines have changed to 2 working days before the meeting, in order to facilitate the management of public participation at remote meetings. The deadline for registering at this meeting is 5:00pm on Tuesday 3 August 2021.

To register to speak please visit www.york.gov.uk/AttendCouncilMeetings to fill in an online registration form. If you have any questions about the registration form or the meeting, please contact Democratic Services. Contact details can be found at the foot of this agenda.

Webcasting of Public Meetings

Please note that, subject to available resources, this meeting will be webcast, including any registered public speakers who have given their permission. The meeting can be viewed live and on demand at www.york.gov.uk/webcasts.

During coronavirus, we've made some changes to how we're running council meetings. See our coronavirus updates (www.york.gov.uk/COVIDDemocracy) for more information on meetings and decisions.

4. Plans List

This item invites Members to determine the following planning application:

a) Frederick House, Fulford Road, York YO10 4EG [21/00116/FUL] (Pages 11 - 60)

Variation of condition 2 of permitted application 19/00603/FULM seeking amendments to external appearance, landscaping, internal arrangements, substation, refuse and cycle stores [Fishergate Ward]

5. Urgent Business

Any other business which the Chair considers urgent under the Local Government Act 1972.

Contact details

Democratic Services

Email: democratic.services@york.gov.uk

Tel: 01904 551088

For more information about any of the following please contact the Democratic Services Officer responsible for servicing this meeting:

- Registering to speak
- Business of the meeting
- Any special arrangements
- Copies of reports and
- For receiving reports in other formats

Contact details are set out above.

This information can be provided in your own language.

我們也用您們的語言提供這個信息 (Cantonese)

এই তথ্য আপনার নিজের ভাষায় দেয়া যেতে পারে। (Bengali)

Ta informacja może być dostarczona w twoim własnym języku. (Polish)

Bu bilgiyi kendi dilinizde almanız mümkündür. (Turkish)

یہ معلومات آپ کی اپنی زبان (بولی) میں بھی مہیا کی جا سکتی ہیں۔ (Urdu)

 (01904) 551550

This page is intentionally left blank

Coronavirus protocols for attending Committee Meetings at York Racecourse

If you are attending a Council Committee Meeting at York Racecourse, you must observe the following protocol, which adheres to any risk assessment conducted by the external venue.

Windows and doors must remain open within the meeting room to maintain good ventilation.

Furniture must not be moved from the designated safe layout.

If you're displaying possible coronavirus symptoms (or anyone in your household is displaying symptoms), you must follow government self-isolation guidance and must NOT attend the meeting.

Testing

The Council encourages regular testing of all Officers and Members and also any members of the public in attendance at the Meeting. Any members of the public attending the Meeting are advised to take a test within 24 hours of attending a meeting, the result of the test should be negative, in order to attend. Test kits can be obtained by clicking on either link: [Find where to get rapid lateral flow tests - NHS \(test-and-trace.nhs.uk\)](https://www.nhs.uk/conditions/coronavirus/covid-19/rapid-lateral-flow-tests/), or, [Order coronavirus \(COVID-19\) rapid lateral flow tests - GOV.UK \(www.gov.uk\)](https://www.gov.uk/guidance/order-coronavirus-covid-19-rapid-lateral-flow-tests). Alternatively, if you call 119 between the hours of 7am and 11pm, you can order a testing kit over the telephone.

Guidelines for attending Committee Meetings

You must:

- Not arrive more than 30 minutes before the Meeting is due to start.
- Wear a face covering whilst in indoor communal areas, face coverings do not need to be worn in the Meeting room, or when seated during the meeting, unless you wish to wear a face covering.
- Use the hand sanitiser which will be situated on entry and exit to the venue and in different areas within the Meeting room.
- Adhere to social distancing where possible when using staircases and walkways, giving way on the staircase landings.
- If you do use a lift to access upper floors, please ensure that you maintain social distancing, or travel in the lift alone.
- You must sit at the dedicated spaces (you will be provided with your own table which may have a screen on it). If screens are in place do not move them or lean around them.

- Bring your own drink if required.
- Maintain social distancing of 2 metres within toilet areas and remain vigilant for other occupants.
- Only use the designated toilets for the Meeting room.

Please note: Anyone intentionally, or repeatedly breaching any of the social distancing measures, or hygiene instructions, may be asked to leave the Meeting.

Developing symptoms whilst in external venues

If you develop coronavirus symptoms during Full Council, you should:

- make your way home immediately.
- avoid the use of public transport where possible.
- self-isolate for 10 days.

You should also:

- Advise the Meeting organiser so they can arrange to assess and carry out additional cleaning.
- Continue to observe social distancing.
- Do not remain in the building any longer than necessary.
- Do not visit any other areas of the building before you leave.

If you receive a positive test result, or if you develop any symptoms before Full Council is due to take place, **you must not attend the meeting.**

If you test positive for coronavirus after the Meeting, you should:

- Notify the Democratic Services department of the Council immediately, either by emailing: democratic.services@york.gov.uk, or telephoning: 01904 551043.

City of York Council

Committee Minutes

Meeting	Planning Committee
Date	17 June 2021
Present	Councillors Barker, Daubeney, Douglas, Fenton, Hollyer, Warters, Pavlovic (Vice-Chair), Fisher (Chair), Widdowson (Substitute), Crawshaw (Substitute), Rowley (Substitute), Looker, Melly and Waudby
Apologies	Councillors Ayre, D'Agorne, Doughty and Lomas

27. Declarations of Interest

Members were asked to declare, at this point in the meeting, any personal interests, not included on the Register of Interests, or any prejudicial or disclosable pecuniary interests they may have in respect of business on the agenda. Cllr Rowley declared a non-prejudicial interest in agenda item 4b [Cherry Tree House, 218 Fifth Avenue, York YO31 0PN [20-02034-FULM] as he had a previous working relationship with the Agent for the Applicant for the application. Two further non prejudicial interests were declared. Cllr Melly declared a non-prejudicial interest as she had joined Heworth Tennis Club which would potentially benefit from S106 funding. Cllr Douglas declared a non-prejudicial interest as the Ward Councillor for item 4b. There were no further declarations of interest.

28. Minutes

Resolved: That the minutes of the last meeting held on 21 April 2021 be approved and signed by the chair as a correct record.

29. Public Participation

It was reported that there had been no registrations to speak at the meeting under the Council's Public Participation Scheme on general matters within the remit of the Planning Committee.

30. Plans List

Members considered a schedule of reports of the Assistant Director, Planning and Public Protection, relating to the following planning applications, outlining the proposals and relevant policy considerations and setting out the views of consultees and officers.

31. Plumbase, Waterloo House, Fawcett Street, York YO10 4AH [20/01521/FULM]

Members considered a major full application from KMRE Group (Church Fenton) Limited for the erection of three buildings to form 48 apartments with associated works and infrastructure following the demolition of existing building at Cherry Tree House 218 Fifth Avenue York YO31 0PN. It was highlighted that the item had previously been deferred.

The Head of Development Services gave a presentation on the application, which was followed by an update informing Members of the change of recommendation to approve the application subject to completion of S106 agreement. Members were updated on the contribution towards open space, loss of retail space and of a minor amendment to Condition 22. The additional information had been and the planning balance remained unchanged from the published report.

Following the presentation and update, Members asked Officers a number of questions to which they responded that:

- There was no national guidance on the size of communal space and this would vary from scheme to scheme.
- Outdoor amenity space could be conditioned.
- The change in amenity space was nominal.
- There was no reduction in the number of rooms.
- Student accommodation was included as contributing to housing need.
- There was no specification for student accommodation in the draft Local Plan.
- The developer could be asked to provide information on the collection and drop off of students. It was not anticipated that there was a need to change highways for this.

- An additional condition could be added regarding designing out crime, as requested by the police.
- The location of the cycle store was confirmed. There were 48 covered and secure cycle spaces.
- An obscure opaque covering could be requested as part of condition 17.
- The comparisons to the accommodation on Lawrence Street were explained.
- A variation to loading and unloading 8am to 6pm Monday to Friday could be added.

Public Speakers

Gary Swarbrick, Agent for the Applicant, spoke in support of the application. He explained that the scheme was high quality purpose built student accommodation. He detailed the facilities in the apartments, which were all single occupancy, comparable with other similar developments in the city. He noted that there was no adopted policy regarding room sizes. He explained that there were robust management arrangements for students moving in and out and that there would be no deliveries around peak times and at school drop off times.

In response to questions from Members, Mr Swarbrick and colleagues (available to answer questions) explained that:

- They would be happy for no deliveries before 9am to be conditioned.
- They would look to undertake the demolition of the existing building during the school holidays and for large deliveries to be outside school hours.
- Regarding concern about the lack of communal space, as the accommodation was close to the city centre and university, students could socialise elsewhere and it was felt that the communal space was acceptable.
- They accepted the concerns of students being isolated and the effect of this on their mental health. They noted that there was no correlation between student mental health and the scheme.
- The original scheme was for 100+ units, which had been reduced and it was felt that the scheme was acceptable. It was noted that there was an outdoor amenity space.
- The changes made to the original scheme were outlined. They would consider losing one unit on the ground floor to create an amenity space.

- The inclusion of a communal space on each floor would create problems with the viability of the scheme and the offer of one further amenity space was more than that of comparable schemes.
- The outdoor amenity space was included s communal space on the landscape plan and there was an element of control due to the neighbours. A retractable awning would be considered.
- There was two disabled spaces, which was felt adequate for a scheme of that size.
- The cycle and parking provision was of a similar level to similar schemes and any further spaces would affect amenity space. The style of cycle parking was explained.
- There had been no consultation with the universities regarding the accommodation. A study by the CBRE showed that there was a demand for that type of accommodation.
- The intention for heating was photo voltaic or and ground source heat pump. The design included space for a ground source heat pump. Thermal modelling would be undertaken.

[The meeting adjourned from 17:45 to 17:55]

Members were given the opportunity to ask officers further questions. Officers were asked and clarified that:

- The scheme was submitted to show the loss of one unit and provision of amenity space.
- Student accommodation came under the NPPF definition of homes and counted towards the delivery of 1000 homes per year.

Cllr Crawshaw moved refusal of the application on the grounds that the scheme did not meet the NPPF requirements for the development to be safe, inclusive and promote health and wellbeing. This was seconded by Cllr Melly. Following debate a named vote was taken with the following result:

- Cllrs Barker, Crawshaw, Douglas, Looker, Melly, Rowley, Warters, Waudby, Widdowson and Fisher voted for the motion;
- Cllrs Daubeney, Fenton, Hollyer and Pavlovic voted against the motion

The motion was carried and it was

Resolved: That the application be refused.

Reason: The application fails to meet the tests in paragraph 3.24 of the NPPF due to the lack of usable amenity space.

[The meeting adjourned from 18:25 to 18:32]

31a Cherry Tree House, 218 Fifth Avenue, York YO31 0PN [20-02034-FULM]

Members considered a major full application from Cherry Tree Venture LLP for the erection of three buildings to form 48 apartments with associated works and infrastructure following the demolition of existing building at Cherry Tree House 218 Fifth Avenue York YO31 0PN.

The Head of Development Services gave a presentation on the applications and updated the Committee on a correction to paragraph 5.10 of the committee report noting that the site was wrongly identified and was not allocated in the Local Plan and the education allocation related to the adjoining presbytery and community centre. As a result the planning balance and recommendation remained unchanged from the published report.

Officers were asked and clarified that:

- The education allocation was staying the same.
- Access had been assessed by highways officers and it was acceptable to use the existing access points.
- The depth of the aisle was sufficient for vehicles turning.
- The landscaping to the rear of the site was being retained and the regarding planting trees on the verge, the verge was not within the line of the application site.
- There was no affordable housing and an offsite contribution would be made.
- The site had been granted vacant building credit and this was explained in the context of the NPPF and the application was policy compliant.
- The location of the cycle and bin storage and electric vehicle charging were explained.
- There was external amenity and good levels of light from the way the apartments were set out.

- It was not reasonable to condition proof of first time buyers buying the apartments.
- Housing officers were satisfied with the scheme and it was confirmed that there was a need for one two bedroom properties in the area.
- The retained landscaping would fall under the existing landscaping condition.
- There were not enough two bedroomed units for a S106 contribution to education.

Public Speakers

Killian Gallagher, the Agent for the Applicant, spoke in support of the application. He explained that Cherry Tree House has been sold by the NHS as it was surplus to requirements. No offers had been received to retain the building for its use. He explained the intended buyers of the apartments, that the design was energy efficient and measures in place for energy efficiency, cycle and car parking (including electric vehicle charging). In answer to questions from the Committee he and the Architect (in attendance to answer questions) confirmed that:

- The Applicant in principle had no issue with putting in trees in the proviso that this could be done technically. They would also be willing to make a contribution towards trees as part of the S106 agreement.
- It was intended that the development would begin as soon as possible.
- The scheme was in line with national policy and the development of brownfield sites. It was felt that £135,000 for an apartment in York within walking distance of the city centre was considered affordable.
- Purchasers would own a share of the freehold and would make their own decisions on this.
- The retention of properties with owner occupiers would be similar to that of the Aura developments. A condition on the number of days for invites of advance offers from first time buyers fell outside planning policy.
- Regarding the increase in property prices, lower prices would mean a lower percentage increase in the prices of the apartments.

[At this point the Senior Solicitor advised Members that the application was not for an affordable housing scheme].

- The entry point of £130-£140,000 was at a level accessible for first time buyers and the provision for affordable housing would be made by way of an offsite contribution.
- An explanation of the purchase of the site was given.
- The allocation of disabled parking spaces was noted.
- There was no direct access to the cycle track adjacent to the site as this was not possible due to the topography of the site.

Members then asked officers further questions to which officers clarified that:

- There was no time limit in applying for vacant building credit.
- The sports contribution would go to publicly available sports sites in the area.

During debate, officers advised the Committee that S106 agreements needed to meet statutory requirements. Cllr Warters moved approval subject to the inclusion of red bricks being used, seconded by Cllr Rowley. Following debate a named vote was taken with the following result:

- Cllrs Barker, Crawshaw, Daubeney, Douglas, Fenton, Hollyer, Looker, Melly, Pavlovic, Rowley, Warters, Waudby, Widdowson and Fisher voted for the motion;

The motion was unanimously carried and it was

Resolved: That the application be approved subject to the landscaping condition being amended to in perpetuity, and addition of an informative for red bricks to be incorporated into the building and for a S106 contribution for tree planting if so required following consultation with the Chair and Vice Chair of the Committee.

Reason:

- i. This site within a sustainable residential location has become available for redevelopment as it is no longer required by the NHS. The form of the building is such that its retention would not result in an optimal use of the site and so demolition and redevelopment is being supported.

- ii. Para.11 of the NPPF sets out that decisions should apply a presumption in favour of sustainable development. Para.11d notes that where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date (this includes applications for housing where a 5 year housing land supply cannot be demonstrated) then applications should be granted permission. The Council cannot currently demonstrate a 5 year housing land supply and the site is not within the Green Belt or impacts on a designated heritage asset and therefore the presumption in favour of sustainable development should apply.
- iii. The scheme provides 48 new flats with good levels of amenity for future residents and without significantly harming to the amenity of neighbours. The existing building is of little architectural merit and will be replaced by a development which enhances the local area. Financial contributions towards affordable housing, amenity open space, play areas, sports facilities and upgrades to the local cycle network will also be secured via a legal agreement.
- iv. The proposal is considered to meet draft Local Plan policy and policy contained within the NPPF and is therefore recommended for approval subject to conditions and the undertaking of a legal agreement.

Cllr T Fisher, Chair

[The meeting started at 4.30 pm and finished at 8.06 pm].

stores. The six student accommodation buildings will remain as four storeys in height and are referred to as buildings B to G, running roughly west to east.

1.5 In detail the proposed amendments are set out below along with the applicant's rationale for the amendments.

Building Height

1.6 Through the detailed design stage, it has become apparent that the parapet heights on the pitched roofs of Blocks E, F & G do not allow sufficient height to insulate and waterproof the buildings to Building Regulation standards. To offset any impact, it is proposed to drop the previously consented taller parapet sections or 'step-ups' on Blocks B, C & D.

1.7 Compared to the previously approved heights (19/00603/FULM) the changes will be as follows:

Block B will be reduced from 12.2 metres in height to 11.9 metres in height.

Block C will be reduced from 12.2 metres to 11.7 metres in height

Block D will be reduced from 12.2 metres to 11.9 metres in height

Block E has a varied roof height. The highest point will remain at a maximum of 13.2 metres in height but there will be a increases of up to 0.2 metres elsewhere to the roof height.

Block F will be increased from 12.8 metres to a maximum of 13.05 metres

Block G will be increased from 12.8 metres to 13.05 metres

Replacement of timber cladding with brick

1.8 In context of current industry issues with flammable building façade materials an public / investor perceptions applicant has requested the timber cladding be omitted.

Removal of Juliet balconies

1.9 They served no functional purpose as the windows / doors not being openable and would hinder the maintenance and cleaning of the windows.

Relocation of plant room

1.10 The plant room and substation have swapped locations to reduce the access distance of utilities between the substation.

Green Roof to Substation & Plant Room

1.11 The utility company has objected to the inclusion of a green roof above the sub station on the grounds of safety. As the substation and plantroom structures are proposed to swap the substation structure is now adjacent the car park of the public house. The plant room structure will be constructed with a sedum roof as illustrated in the revised landscape drawing.

Landscaping

1.12 Alterations are proposed following conversations with Fire Officers regarding turning circles at the eastern end of the access road.

Planning History

1.13 There is extensive planning history relating to the former building at the site. The planning permission for the redevelopment of the site is:

19/00603/FULM - Erection of 6no. purpose-built 4 storey student accommodation buildings (providing 368 bedrooms), associated change of use of and alterations to existing 'Guard House' building to multi-amenity use associated with the accommodation, construction of energy/plant facility, car and cycle parking, refuse/recycling storage and landscaping (re-submission of withdrawn application 18/02797/FULM) – Approved.

2.0 POLICY CONTEXT

National Planning Policy Framework

2.1 The National Planning Policy Framework (NPPF) sets out the government's planning policies for England and how these are expected to be applied.

2.2 The planning system should contribute to the achievement of sustainable development (Paragraph 7). To achieve sustainable development, the planning

system has three overarching objectives; economic, social and environmental objectives.

2.3 Paragraph 14 advises that at the heart of the Framework there is a presumption in favour of sustainable development. Paragraph 11 states planning decisions should apply a presumption in favour of sustainable development and that for decision taking this means where there are no relevant development plan policies, granting permission unless i. the application of policies in the NPPF that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or
ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies of the NPPF taken as a whole.

Publication Draft Local Plan 2018

2.4 The Publication Draft City of York Local Plan 2018 ('2018 Draft Plan') was submitted for examination on 25 May 2018, with initial hearings taking place in late 2019. In accordance with paragraph 48 of the NPPF the Draft Plan policies can be afforded weight according to:

- The stage of preparation of the emerging plan (the more advanced the preparation, the greater the weight that may be given);
- The extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- The degree of consistency of the relevant policies in the emerging plan to the policies in the previous NPPF published in March 2012. (NB: Under transitional arrangements plans submitted for examination before 24 January 2019 will be assessed against the 2012 NPPF).

2.5 The evidence base underpinning the 2018 Draft Plan is capable of being a material consideration in the determination of planning applications.

2.6 Relevant Policies

- H7 Student Housing
- D1 Placemaking
- D2 Landscape and Setting
- D4 Conservation Areas
- ENV2 Managing Environmental Quality

2005 Development Control Local Plan

2.7 The Development Control Local Plan (DCLP) was approved for development management purposes in April 2005. Whilst the DCLP does not form part of the statutory development plan, its policies are considered to be capable of being material considerations in the determination of planning applications where policies relevant to the application are consistent with those in the NPPF albeit with very limited weight.

3.0 CONSULTATIONS

INTERNAL

Design and Sustainable Construction (Design)

3.1 Further to the recent re-consultation on design revisions uploaded to the planning portal dated 8th June, confirm that these are in accordance with recent applicant/CYC negotiations on design matters for this application.

Design and Sustainable Construction (Landscape Architect)

3.2 No objection to landscaping. With regard to tree protection, note their arboriculture consultant's additional note on the change to the paving under the existing trees near the guard house. Whilst I think it leaves these two trees vulnerable to harm, I accept the view taken by their expert. However the Arboricultural method statement will need to be altered to suit the proposed change. Condition required.

EXTERNAL

Fishergate Planning Panel

3.3 The height of these buildings was a major concern in the initial responses to the original application. To seek to increase the parapet height at this stage suggests that the original proposals were at best either inadequately planned or over hopeful. Surely the architects should be required to find a solution that does not increase the height of the buildings.

4.0 REPRESENTATIONS

4.1 The application has been advertised by neighbour notification, press notice and site notice. 16 objections were received from local residents.

4.2 The issues raised in the objections are summarised below.

- Loss of light
- Buildings should be one storey lower and further away
- Height of buildings – already built
- Building shouldn't have been approved before if changes required
- Ideally whole development should be scrapped
- Timber cladding should remain
- Noise and light pollution
- Why was original application submitted if it did not comply with building regulations
- proposal to raise the height of the buildings will add around another 2 metres to that winter sunshine shadow across the neighbouring properties to the north of the site,
- in addition to reducing the visible skyline all year round
- change of materials from timber to brick
- timber is keeping with surrounding area
- should be reduced to three storeys or internal floor heights reduced
- what progress has been made on an alternative access route for students across the Stray to campus, to avoid Kilburn Road and especially the allotments.
- Questioning loss of previously approved green roof
- Over shadowing as a result of height increase and impacts in terms of light and noise

4.3 Ward Cllr D'Agorne requested the application be called to committee following the concerns raised by residents over the height increases. Ward Cllr Taylor objected to the proposal and supported the call making the following comments:

- concern over the heights,
- materials are of less concern to so long as the design is harmonious.
- The removal of the Juliet balconies might also reduce the potential for noise as well as increase safety so support that element

4.4 Following officer concerns, revised plans were submitted reducing the heights of blocks B, C and D. The revised plans were re-consulted on one objection was received.

- Reduction in heights of B, C and D does not overcome increase in heights of E, F and G
- Changes to timber cladding and design benefits not evidenced
- Examples of timber cladding elsewhere
- Lighting not on the landscape plans
- welcome the inclusion of larger trees in the planting plan & would ask that consideration be given to including some large evergreen trees and not just deciduous as building will dominate skyline in winter

5.0 APPRAISAL

5.1 This planning application is made under section 73 of the Town and Country Planning Act 1990 that relates to determination of applications to develop land without compliance with conditions subject to which a previous planning permission was granted. Given that an application under s.73 seeks to amend an approved scheme, the development itself will have been judged to be acceptable in principle at an earlier date. Consideration of the current application therefore is not about the principle of the development, but rather the impact of the proposed amendments and assessed in the light of current policy. Therefore the principle of the housing development, highways and parking will not be revisited as these aspects are not considered to be affected by the proposed amendments.

As such, it is considered that the key considerations are:

- impact on the character of the conservation area
- design
- impact on amenity and living conditions of adjacent occupiers
- trees
- sustainability LEGISLATIVE CONTEXT

5.2 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires determinations be made in accordance with the development plan unless material considerations indicate otherwise. There is no development plan for this part of York.

5.3 Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires that special attention shall be paid to the desirability of preserving or enhancing the character and appearance of Conservation Areas.

IMPACT ON THE CHARACTER OF THE CONSERVATION AREA

5.4 Paragraph 197 of the NPPF states that with regard to heritage assets, (which include conservation areas) when determining applications local planning authorities should take account of:

- a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;
- b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- c) the desirability of new development making a positive contribution to local character and distinctiveness.

5.5 Paragraph 199 advises that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). Paragraph 194 states that any harm to the significance of a designated heritage asset from development within its setting should require clear and convincing justification.

5.6 Policy D4 of the 2018 Draft Plan advises that harm to buildings, open spaces, trees, views or other elements which make a positive contribution to a conservation area will be permitted only where this is outweighed by the public benefits of the proposal. Emerging Policy GI4 seeks to retain trees that make a positive contribution to a conservation area.

5.7 Part of the site lies within the Fulford Road conservation area. This part of the site includes the 'Guard House' which fronts Fulford Road. This building was included within the conservation area as it makes a positive contribution to the character of the area through sympathetic architectural language and by reinforcing the wall like characteristic of the barrack's boundary.

5.8 The proposed amendments within the conservation area primarily comprise the use of railings to the south west boundary treatment. Railings rather than a wall have been deemed necessary by the Council's Landscape Architect to prevent damage to the root protection area of protected trees. These changes have been agreed as part of the approval of planning conditions with the previous permission and are not objected to. The use of railings is considered acceptable and will preserve the character of the conservation area and protect the tree roots.

DESIGN

5.9 Paragraph 130 of the NPPF states that planning decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

5.10 Paragraph 134 of the NPPF states that development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design. Paragraph 135 states Local planning authorities should seek to ensure that the quality of approved development is not materially diminished between permission and completion, as a result of changes being made to the permitted scheme (for example through changes to approved details such as the materials used).

5.11 Policy D1 of the 2018 Draft Plan states that proposals will be supported where they improve poor existing urban and natural environments, enhance York's special qualities and better reveal the significances of the historic environment. Development proposals that fail to take account of York's special qualities, fail to make a positive design contribution to the city, or cause damage to the character and quality of an area will be refused. Emerging Policy HW7 encourages design principles including well designed streetscapes, foot and cycle paths, spaces for

communities to come together and considerations of how design impacts on crime or the perception of safety.

5.12 The revisions to the height are considered to be necessary by the applicant for building regulations purposes. Concerns have been raised from residents over whether this should have been considered by the applicant at the previous stage. However, building regulations is separate to planning requirements and for the purposes of this application it is just necessary to consider whether the revised proposal is acceptable in planning terms. The Council's Design Manager has noted that they "understand that industry-wide fire safety (and insurance) concerns about using timber on facades escalated relatively recently and it is accepted here that this was not anticipated at the time of the permitted scheme."

5.13 The height increases are modest and have been restricted to three of the six buildings. The loss of the timber cladding to parts of the buildings and its replacement with brick will decrease the variety of materials at the development. However, brick is a prevalent building material in York, including for blocks of this scale. There will still be some variety to the appearance with a mix of brick colours to the buildings. The revised material palette is considered to be acceptable. The loss of the Juliet balconies was supported by the Council Design Manager who noted that balconies were rather randomly located in the permitted scheme and did not consider their loss to be detrimental to the architectural design or internal function/amenity.

LANDSCAPING

Paragraph 131 of the NPPF states that trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change. Planning decisions should ensure that new streets are tree-lined, that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible.

5.14 Emerging Policy D2 considers landscaping and setting for design proposals. The loss of the green roof to the substation is as a result of an objection from the utility company on maintenance and safety grounds due to increase weight and holding of water on the roof, with a letter of support provided by them.

5.15 The revisions to the landscaping ensure there is a good amount of green space retained within the development. The key change is to allow for a turning

circle for emergency and service vehicles at the eastern end of the site. This will result in an increase in hardstanding area, however the applicant is utilising block paving with grass inserts and the Council's Landscape Architect is content with this. In terms of tree protection, the revised plans will retain the two mature trees adjacent to the Guard House and these will be protected by condition. The boundary treatment has been amended from a wall to railings to provide better protection for the root protection areas.

IMPACT ON AMENITY

5.16 The NPPF states that developments should create places with a high standard of amenity for all existing and future users. It goes on to state that decisions should avoid noise from giving rise to significant adverse impacts on health and quality of life as a result of new development. Policies D1 and ENV2 of the 2018 Draft Plan consider amenity. The key issues with regard to amenity that concerns this application are noise, light and the levels of comings and goings associated with the development.

5.17 Following objections from local residents and concerns raised by officers, the design was further reviewed and the height increases have been restricted to buildings E, F and G at the eastern end of the site, with slight reductions to buildings B, C and D. The parapet height increases are less than 0.3 metres, which is a modest increase in height within the context of the site and also taking into account the distance of the buildings from dwellings to the north. Building E is staggered in design with a minimum distance from the dwellings on Kilburn Road of approximately 36 metres. Building F is set back from the northern boundary and is approximately 43 metres to the south of the houses on Kilburn Road. Building G is oriented side on to the houses on Kilburn Road with the narrower side elevation facing them. Furthermore the northern section of Building G is single storey in height 6 metres in width. It is still located approximately 42 metres from the nearest dwelling.

5.18 The length and width of the blocks remain the same and the height increase is to only three of the buildings, one of which is set well back from the boundary. Furthermore the buildings are all in excess of 35 metres south of the rear elevations of houses on Kilburn Road. The increase in height is modest, under 0.3 metres, and at a considerable distance. It is not considered to have an unacceptable impact on amenity with regard to loss of light or being overbearing.

OTHER MATTERS

5.19 Public representation was made regarding the progress of a route across Walmgate Stray for students, however this is not for consideration as the amended condition does not affect this.

5.20 A permission granted under section 73 takes the form of a fresh planning permission sitting alongside the original permission, which remains intact and unamended. Therefore the new section 73 permission should repeat the relevant conditions from the original planning permission.

5.21 The previously approved planning application at the site was subject to a section 106 Agreement which secured a number of planning obligations to mitigate the proposal. A Deed of Variation to that legal agreement will be secured to ensure that those obligations are also linked to the new permission.

6.0 CONCLUSION

6.1 Paragraph 11 of the NPPF states that for decision taking, applications should be approved unless any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole. The revisions to the design are considered to have a neutral impact on the overall design of the scheme, with a modest height increase to three buildings balanced against reductions to three other buildings. The removal of timber cladding does not adversely impact on the overall design of the scheme and the removal of the Julie balconies is supported. The landscaping changes have been considered by the Council's Landscape Architect and are supported overall. With regard to amenity, the increase in the height of three blocks is mitigated by the modest increase of the height change and their distance from the dwellings to the north on Kilburn Road. The development also retains clear gaps between the blocks preventing a terracing effect. The proposed amendments are considered to comply with the relevant policies set out in the NPPF and the 2018 Draft Plan. The proposal would also satisfy Section 72(1) of the of the Planning (Listed Buildings and Conservation Areas) Act 1990 which requires the Local Authority to pay special attention to the desirability of preserving the character and appearance of Conservation Areas within its area. Approval is recommended subject to conditions.

7.0 RECOMMENDATION: Approve subject to Section 106 Agreement

1 The development hereby permitted shall be carried out in accordance with the following plans:-

1077-TGA-XX-XX-DR-A-0229	-	Site Location Plan
1077-TGA-XX-00-DR-A-2109	F	Substation
(415)1808-GWP-XX-00-DR-A-(PA)-0017	P05	Guard House Demolition Plan
(415)1808-GWP-XX-00-DR-A-(PA)-0018	P05	Guard House Demolition Elevations
(415)1808-GWP-XX-00-DR-A-(PA)-0019	P05	Guard House Floor Plans
(415)1808-GWP-XX-00-DR-A-(PA)-0020	P05	Guard House Proposed Elevations and Sections
1077-TGA-ZZ-00-DR-A-0220	B	Proposed Ground Floor Plan
1077-TGA-ZZ-01-DR-A-0221	A	Proposed First Floor Plan
1077-TGA-ZZ-02-DR-A-0222	A	Proposed Second Floor Plan
1077-TGA-ZZ-03-DR-A-0223	A	Proposed Third Floor Plan
1077-TGA-ZZ-04-DR-A-0224	B	Proposed Roof Plan
1077-TGA-XX-XX-DR-A-0520	B	Block B Elevations 01
1077-TGA-XX-XX-DR-A-0521	B	Block B Elevations 02
1077-TGA-XX-XX-DR-A-0522	B	Block C and D Elevations 01
1077-TGA-XX-XX-DR-A-0523	B	Block C and D Elevations 02
1077-TGA-XX-XX-DR-A-0524	B	Block E, F and G Elevations 01
1077-TGA-XX-XX-DR-A-0525	B	Block E, F and G Elevations 02
1077-TGA-XX-XX-DR-A-0526	B	Block E and F Elevations
1077-TGA-XX-XX-DR-A-0527	B	Block G Elevations
3473 101 M		Landscape Layout
1077-TGA-XX-XX-DR-A-9002	E	Cycle Parking Plan

Reason: For the avoidance of doubt and to ensure that the development is carried out only as approved by the Local Planning Authority.

2 The foul and surface water drainage works shall be carried out in accordance with the details approved under reference AOD/20/00301.

Reason: So that the Local Planning Authority may be satisfied with these details for the proper drainage of the site.

3 The development shall be carried out using the approved materials agreed under reference AOD/21/00037.

Reason: So as to achieve a visually cohesive appearance

4 Large scale details of the items listed below, approved under reference AOD/21/00023, shall be carried out in accordance with the approved details.

Detailed bay elevations and sections for all fenestration types including ground to roof level parts to demonstrate interfaces at scale 1:20

Window reveals and wall pane recesses at scale 1:10

Details of all fixed equipment to the exterior of the proposed buildings.

The Guard House window reveal at scale 1:10

Reason: So that the Local Planning Authority may be satisfied with these details

5 The development shall not be occupied until a detailed landscaping scheme in accordance with the approved General arrangement and Planting strategy has been submitted to the Local Planning Authority and approved in writing. This shall include the species, stock size, density (spacing), and position of trees, shrubs and other plants; and seed mixes, sowing rates and mowing regimes where applicable. It will also include details of ground preparation; tree planting details; paving, and street furniture. The proposed tree planting shall be compatible with existing and proposed utilities. This scheme as approved shall be implemented within a period of six months of the practical completion of the development. Any trees or plants which within a period of ten years from the substantial completion of the planting and development, die, are removed or become seriously damaged or diseased, shall be replaced in the next planting season with others of a similar size and species, unless the Local Planning Authority agrees alternatives in writing.

Reason: So that the Local Planning Authority may be satisfied with the variety, suitability and disposition of species and other landscape details across the site, since the landscape scheme, is integral to the amenity of the development.

6 A suitably qualified arboriculturalist shall carry out regular inspections and supervision of works as necessary during development operations to ensure the proposed protection measures within the approved method statement are strictly applied and adhered to. In the first instance the appointed arboriculture consultant shall inspect and confirm that all tree protection fencing and ground protection is in place before the relevant construction starts on site. Any incidents and/or deviations from the approved AMS shall be monitored. The appointed arboriculture consultant shall record all site visits and observations and any actions taken. These records shall be made available for inspection by the Local Authority if requested.

Reason: To ensure every effort and reasonable duty of care has been exercised by the developer during the development in the interests of protecting the existing trees shown to be retained.

7 The development hereby approved shall be occupied only for the purposes of student accommodation by either students engaged at all times in full-time or part-time further or higher education courses within the City of York administrative boundary or by delegates at all times attending courses or conferences within the

City.

Reason: In order to control the future occupancy of the development in the event of it any part of it being sold or rented on the open market without securing adequate levels of affordable housing, in accordance with Policy H7 of the 2018 Publication Draft Plan.

8 The archaeological scheme comprises 3-5 stages of work. Every stage shall be completed and approved by the Local Planning Authority (LPA) before the condition can be discharged.

B) The site investigation and post-investigation assessment shall be completed in accordance with the programme set out in the Written Scheme of Investigation approved under AOD/21/00027 and the provision made for analysis, publication and dissemination of results and archive deposition will be secured. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

C) A copy of a report on the evaluation and an assessment of the impact of the proposed development on any of the archaeological remains identified in the evaluation shall be deposited with City of York Historic Environment Record to allow public dissemination of results within 6 weeks of completion or such other period as may be agreed in writing with the Local Planning Authority.

D) Where archaeological features and deposits are identified proposals for the preservation in-situ, or for the investigation, recording and recovery of archaeological remains and the publishing of findings shall be submitted as an amendment to the original WSI. It should be understood that there shall be presumption in favour of preservation in-situ wherever feasible.

E) No development (other than demolition to present ground level) shall take place until:

- details in D have been approved and implemented on site
- provision has been made for analysis, dissemination of results and archive deposition has been secured
- a copy of a report on the archaeological works detailed in Part D should be deposited with City of York Historic Environment Record within 3 months of completion or such other period as may be agreed in writing with the Local Planning Authority.

This condition is imposed in accordance with Section 16 of NPPF.

Reason: The site lies within an area of archaeological interest. An investigation is required to identify the presence and significance of archaeological features and deposits and ensure that archaeological features and deposits are either recorded

or, if of national importance, preserved in-situ.

9 A programme of archaeological building recording, specifically a written description and photographic recording of the Guard House and any other historic structures on site to Historic England Level 2 is required for this application. The archaeological scheme comprises 3 stages of work. Each stage shall be completed and approved by the Local Planning Authority before it can be discharged.

B) The programme of recording and post investigation assessment shall be completed in accordance with the programme set out in the Written Scheme of Investigation approved under AOD/20/00239 and the provision made for analysis, publication and dissemination of results and digital archive deposition with ADS will be secured. This part of the condition shall not be discharged until these elements have been fulfilled in accordance with the programme set out in the WSI.

C) A copy of a report shall be deposited with City of York Historic Environment Record and digital archive images with ADS to allow public dissemination of results within 3 months of completion or such other period as may be agreed in writing with the Local Planning Authority.

This condition is imposed in accordance with Section 16 of NPPF.

Reason: The buildings on this site are of archaeological interest and must be recorded prior to alteration or removal of fabric.

10 The detailed scheme of noise insulation measures for protecting current and proposed residents from externally generated noise shall be carried out in accordance with the details approved under reference AOD/20/00272. Upon completion of the insulation scheme works no part of the development shall be occupied until a noise report demonstrating compliance with the approved noise insulation scheme has been submitted to and approved in writing by the Local Planning Authority.

INFORMATIVE: The building envelope of all residential accommodation shall be constructed so as to achieve internal noise levels in habitable rooms of no greater than 35 dB LAeq (16 hour) during the day (07:00-23:00 hrs) and 30 dB LAeq (8 hour) and LAFMax level during the night (23:00-07:00 hours) should not exceed 45dB(A) on more than 10 occasions in any night time period in bedrooms and should not regularly exceed 55dB(A). These noise levels shall be observed with all windows open in the habitable rooms or if necessary windows closed and other means of ventilation provided.

Reason: To protect the amenity of people living in the new property from externally generated noise and in accordance with the National Planning Policy Framework.

11 The details of all machinery, plant and equipment to be installed in or located on the premises, which is audible outside of the premises shall be installed or located as per the details approved under reference AOD/21/00007. The machinery, plant or equipment and any approved noise mitigation measures shall be fully implemented and operational before the proposed use first opens and shall be appropriately maintained thereafter.

Reason: To protect the amenity of nearby properties and the environmental qualities of the area.

12 The lighting levels achieved at the development shall not exceed those stated in the lighting report by Desco dated: 1 September 2019 reference: 1809-60-RPT-01-External Lighting Assessment Report.

Reason: To protect the amenity of the surrounding area.

13 There shall be no external lighting between the hours of 23:00hrs and 07:00hrs by obtrusive lights (as defined in the External Lighting Assessment Report by Desco dated 3rd September 2019 as A1 and C1) at the site, other than those necessary for emergency and security lighting. A scheme outlining which lights will be switched off between these hours shall be submitted to and agreed by the Local Authority in writing before use of the site commences and the curfew implemented in accordance with the said scheme as approved thereafter.

Reason: To protect the amenity of the surrounding area

14 All means of enclosure to the site boundaries shall be provided in accordance with the details approved under reference AOD/20/00301 before the development is occupied.

Reason: In the interests of the visual amenities of the area and the amenities of neighbouring properties.

15 Prior to first occupation or use of the development hereby approved four integrated features providing a roosting crevice for bats must be constructed across the site within the fabric of the new buildings, and four Swift nest boxes.

Reason: To take account of and enhance the biodiversity and wildlife interest of the area.

16 The building shall not be occupied until the cycle parking areas and means of enclosure have been provided within the site in accordance with details approved under reference AOD/20/00272, and these areas shall not be used for any purpose other than the parking of cycles.

Reason: To promote use of cycles thereby reducing congestion on the adjacent roads and in the interests of the amenity of neighbours.

17 HWAY19 Car and cycle parking laid out

18 Before the occupation of the development 1 Electric Vehicle Recharging Point shall be provided and retained in a position and to a specification to be first agreed in writing by the Council. Charging points should be located in a prominent position on the site and should be for the exclusive use of zero emission vehicles. Parking bay marking and signage should reflect this. The charge points should include sufficient cabling and groundwork to upgrade that unit and to provide for an additional Electrical Vehicle Recharging Point of the same specification, should demand require this in this future. Within 3 months of the first occupation of the development, the owner will submit to the Council for approval in writing an Electric Vehicle Recharging Point Maintenance Plan that will detail the maintenance, servicing and networking arrangements for each Electric Vehicle Recharging Point for a period of 10 years. The approved Electric Vehicle Recharging Point Maintenance Plan shall thereafter be implemented in accordance with its terms

Reason: To promote and facilitate the uptake of electric vehicles on the site in line with the Council's Low Emission Strategy (LES) and the National Planning Policy Framework (NPPF).

19 The Carbon Emission Reduction Measurese shall be carried out in accordance with the details approved under reference AOD/20/00285.

Reason: In the interests of sustainable design and in accordance with policies CC1 and CC2 of the Publication Draft Local Plan 2018.

20 LC3 Land contamination - remedial works

21 LC4 Land contamination - unexpected contam

22 Except in case of emergency no demolition and construction works or ancillary operations, including deliveries to and dispatch from the site which are audible beyond the boundary of the site shall take place on site other than between the hours of 08:00-18:00 Monday to Friday and between 09:00-13:00 on Saturdays.

The Local Planning Authority shall be notified at the earliest opportunity of the occurrence of any such emergency and a schedule of essential work shall be provided.

Reason: To protect the amenity of local residents

23 The development shall be constructed in accordance with the Construction

Environmental Management Plan (CEMP) approved under reference AOD/20/00229.

Reason: To protect the amenity of the locality

24 The site shall thereafter be occupied in accordance with the aims, measures and outcomes of the Travel Plan approved under reference AOD/20/00301.

Within 12 months of occupation of the site a first year travel survey shall have been submitted to and approved in writing by the Local Planning Authority. Results of yearly travel surveys shall then be submitted annually to the authority's travel plan officer for approval.

Reason: To ensure that traffic flows from the site can be safely accommodated and to promote the usage of sustainable means of transport.

25 The area shown as 'potential future cycle storage' on drawing no (415) 1808-GEP-XX-00-DR-A-(PA)-0007-P12 shall be reserved for cycle parking only at all times throughout the lifetime of the development unless it is first agreed in writing with the local planning authority that it is no longer necessary for this purpose.

Reason: To encourage the use of sustainable transport modes.

26 A full 3 stage road safety audit carried out with advice set out in the DMRB HD19/03 and guidance issued by the Council, will be required for the internal highway layout and all off-site works requiring alteration, stage 1 of which was approved under reference AOD/21/00007.

Reason: To minimise the road safety risks associated with the changes imposed by the development.

27 The front and rear pedestrian/cycle access doors to the Guard House shall be automatically operated.

Reason: To encourage the use of sustainable transport.

28 The development hereby permitted shall not come into use until the following highway works ((a) creation of shared use footway cycleway on east side of Fulford Road from the existing pelican crossing on Fulford Road north of the site to join the existing shared use footway cycleway on east side of Fulford Road south of the site and (b) extending the length of the central refuge situated on Fulford Road south of Wenlock Terrace) have been carried out in accordance with the approved plans, or arrangements entered into which ensure the same.

Reason: In the interests of the safe and free passage of highway users.

29 The survey of on street parking on highways within an area agreed with the local planning authority under reference AOD/20/00313 shall be carried out annually. The surveys shall be carried out to a specification and at a time agreed with the local planning authority.

Within three months of the annual survey being carried out, the developer will review the on street parking survey results and submit the review to the local planning authority to demonstrate whether the volume of on street parking in any of the areas shown on the plan has increased by more than 20% of the first annual survey as a consequence of the development.

Reason: To monitor on-street parking levels as result of the development and to determine if as a result of the development, further previously agreed measures are required to be undertaken by developer to restrict on street parking in this areas.

8.0 INFORMATIVES:

Notes to Applicant

1. STATEMENT OF THE COUNCIL`S POSITIVE AND PROACTIVE APPROACH

In considering the application, the Local Planning Authority has implemented the requirements set out within the National Planning Policy Framework (paragraph 38) in seeking solutions to problems identified during the processing of the application. The Local Planning Authority took the following steps in order to achieve a positive outcome:

Revised plans

2. INFORMATIVE:

The developer's attention is drawn to the various requirements for the control of noise on construction sites laid down in the Control of Pollution Act 1974. In order to ensure that residents are not adversely affected by air pollution and noise, the following guidance should be adhered to, failure to do so could result in formal action being taken under the Control of Pollution Act 1974:

(a) All demolition and construction works and ancillary operations, including deliveries to and despatch from the site shall be confined to the following hours:

Monday to Friday 08.00 to 18.00

Saturday 09.00 to 13.00

Not at all on Sundays and Bank Holidays.

(b)The work shall be carried out in such a manner so as to comply with the general recommendations of British Standards BS 5228: Part 1: 1997, a code of practice for "Noise and Vibration Control on Construction and Open Sites" and in particular

Section 10 of Part 1 of the code entitled "Control of noise and vibration".

(c) All plant and machinery to be operated, sited and maintained in order to minimise disturbance. All items of machinery powered by internal combustion engines must be properly silenced and/or fitted with effective and well-maintained mufflers in accordance with manufacturers instructions.

(d) The best practicable means, as defined by Section 72 of the Control of Pollution Act 1974, shall be employed at all times, in order to minimise noise emissions.

(e) All reasonable measures shall be employed in order to control and minimise dust emissions, including sheeting of vehicles and use of water for dust suppression.

(f) There shall be no bonfires on the site

3. LEGAL AGREEMENT

Your attention is drawn to the existence of a legal obligation under Section 106 of the Town and Country Planning Act 1990 relating to this development

4. INFORMATIVE:

The applicant is reminded that, under the Wildlife and Countryside Act 1981, as amended (section 1), it is an offence to remove, damage or destroy the nest of any wild bird while that nest is in use or being built. Planning consent for a development does not provide a defence against prosecution under this act.

Trees and scrub are likely to contain nesting birds between 1st March and 31st August inclusive. Trees and scrub are present on the application site and are to be assumed to contain nesting birds between the above dates, unless a recent survey has been undertaken by a competent ecologist to assess the nesting bird activity on site during this period and has shown it is absolutely certain that nesting birds are not present.

Contact details:

Case Officer: Tim Goodall

Tel No: 01904 551103

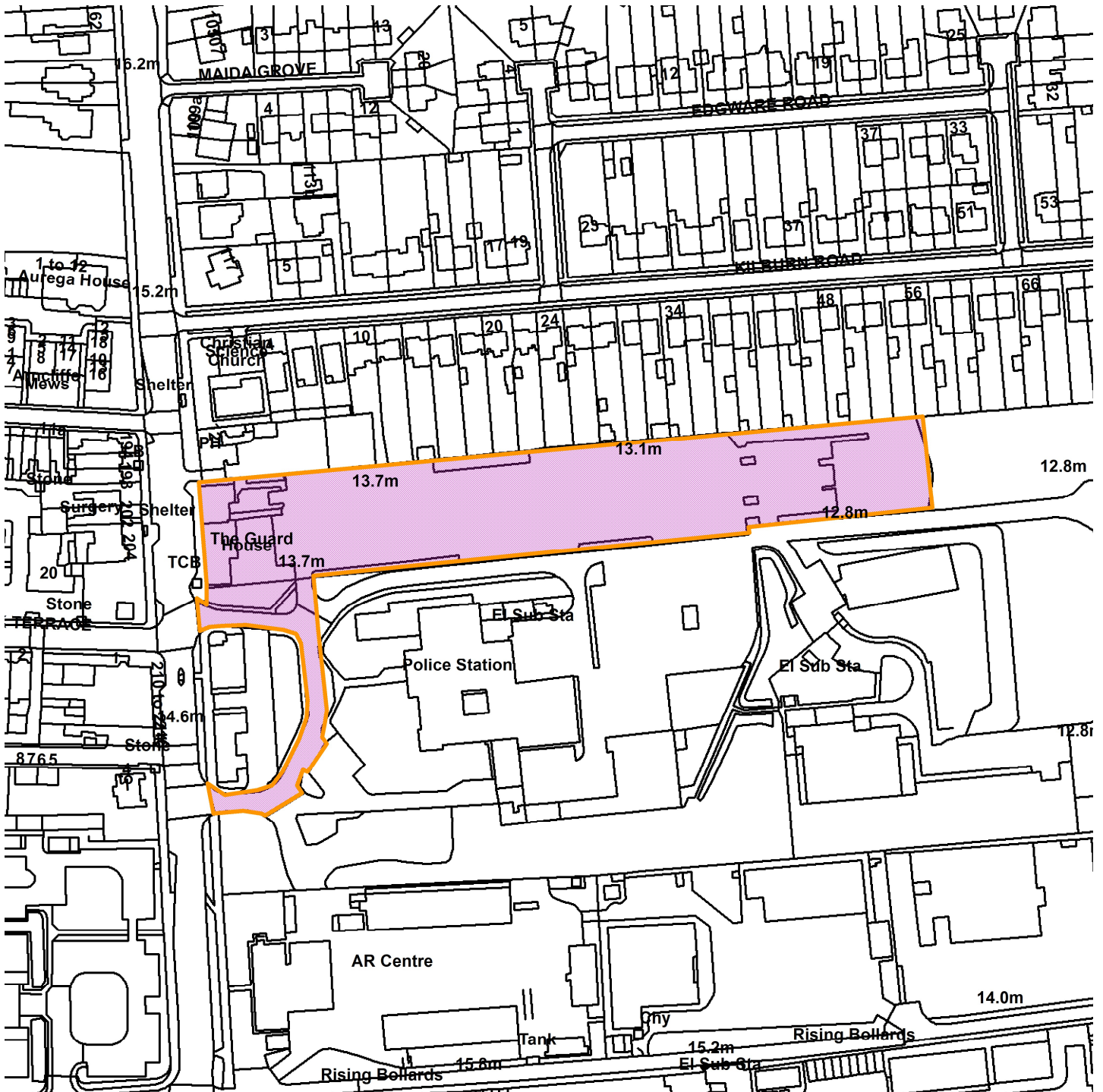
This page is intentionally left blank

Frederick House Fulford Road York YO10 4EG

21/00116/FUL



GIS by ESRI (UK)



Scale : 1:1974

Reproduced from the Ordnance Survey map with the permission of the Controller of Her Majesty's Stationery Office © Crown Copyright 2000.

Unauthorised reproduction infringes Crown Copyright and may lead to prosecution or civil proceedings.

Organisation	City of York Council
Department	Economy & Place
Comments	Site Location Plan
Date	27 July 2021
SLA Number	

This page is intentionally left blank



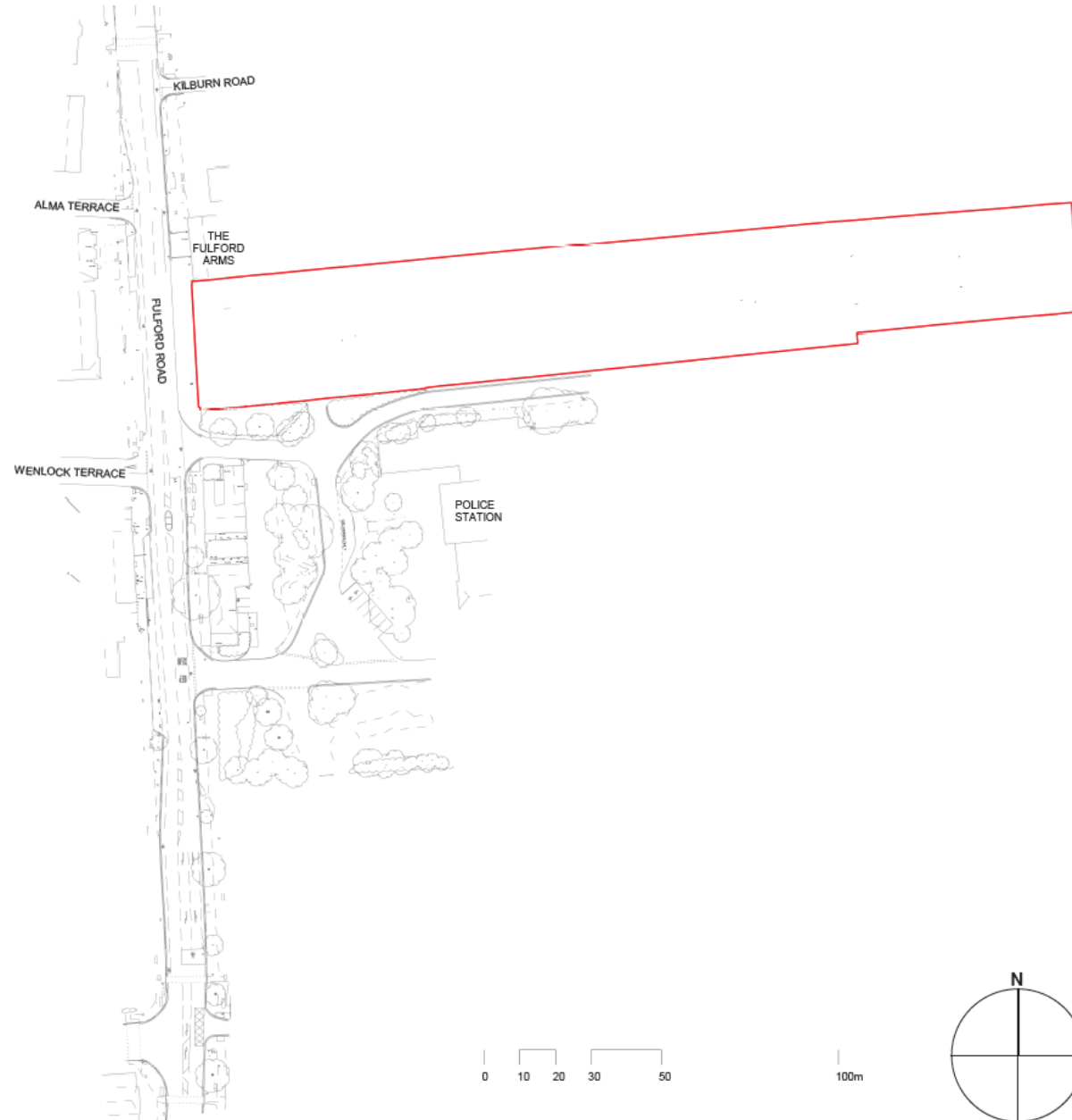
Planning Committee

To be on Thursday 5th August 2021 at 4:30pm

21/00116/FUL - Frederick House, Fulford Road, York

Variation of condition 2 of permitted application 19/00603/FULM seeking amendments to external appearance, landscaping, internal arrangements, substation, refuse and cycle stores.

Site Location Plan



City of York Council Planning Committee Meeting - 5th August 2021



7 Constance Street
Kensal Mill
Manchester
M15 4JQ
Tel: +44 (0)161 870 1152
www.timgroomarchitects.com

Copyright © 2016 Tim Groom Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced, in whole or in part, whether in two or three dimensions, distributed or transmitted in any form or by any means, including photocopying, recording or other electronic or mechanical methods, without the prior written permission of the copyright owner. No part of these drawings or designs may be reproduced or stored in any electronic retrieval system in any form or any means without the prior written permission of the copyright owner. The copyright owner reserves all its moral rights and the right to be identified as the author of the drawings or designs. The drawings or designs have been executed by the copyright owner pursuant to an exclusive licence to its client and the use of these drawings or designs is limited to its client by the terms of the licence and all such permissions and authority granted by the copyright owner under the licence terms automatically terminate upon the termination of the licence or in the event of any act of insolvency being committed by the licensee. The copyright owner, access and can have no liability or responsibility whatsoever for and in respect of any unauthorised or unlicensed use of or any reliance placed upon these drawings or designs. No works of construction relying on these drawings or designs are permitted under the terms of the above licence or otherwise without the express written consent and authority of the copyright owner.

Dimensioning
Figured dimensions only to be taken from these designs and drawings. Work to annotated dimensions only. All dimensions to be checked on site. Architects to be informed immediately of any discrepancies before work proceeds. Drawings are to be read in conjunction with relevant specifications, structural engineers and service engineers' drawings. All data, drawings and designs contained in this document are the copyright of the copyright owner and may not be copied, reproduced or used in any way by any third party save in accordance with a written permission and authority of the copyright owner.

Rev Description

Client
Watkin Jones

Project
Frederick House

Title
Site Location Plan

Status
Planning

Project number Date
1077 Jan 2021

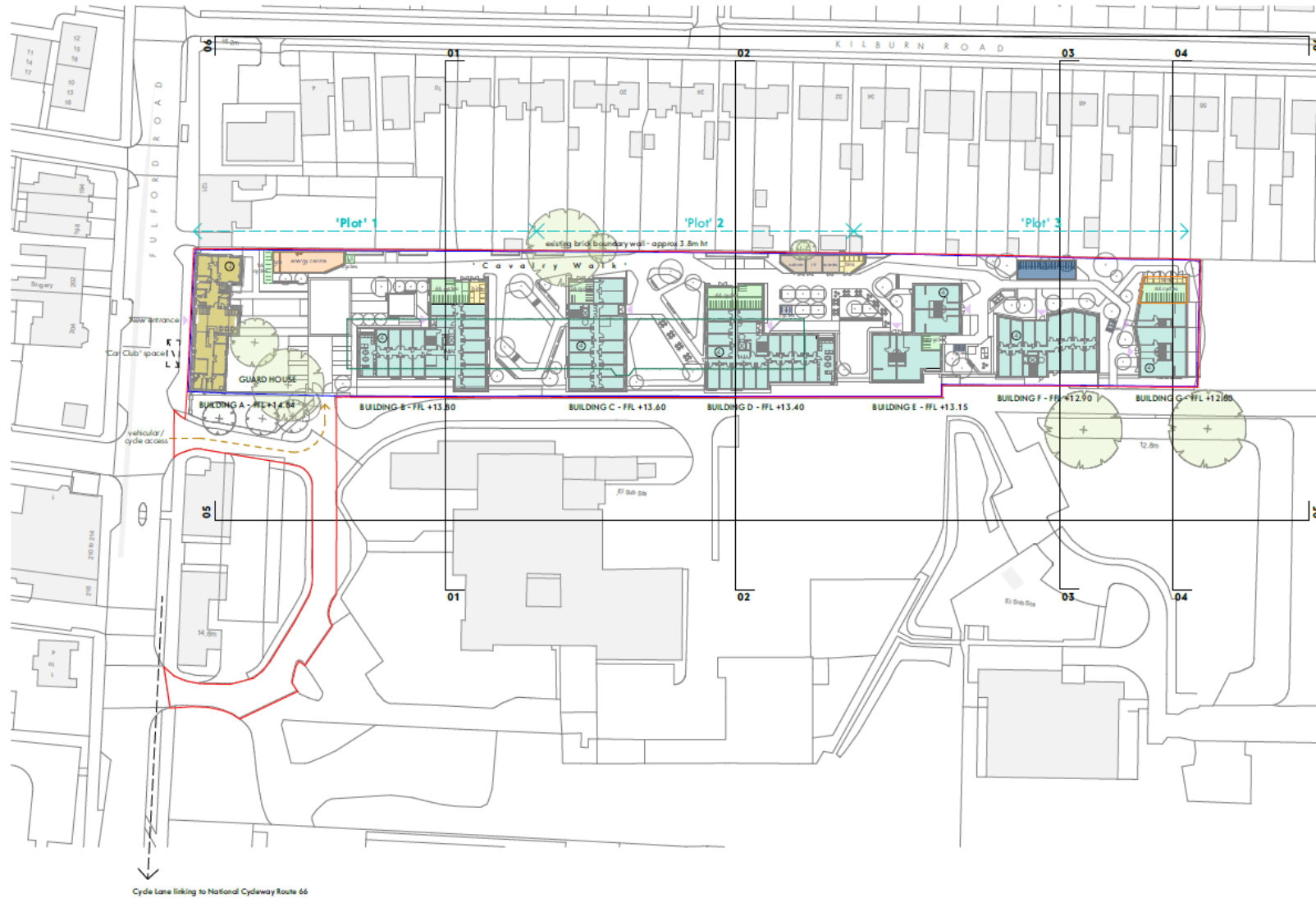
Drawn by Checked by
CF CF

Scale Revision
1 : 1250@A3

3
Drawing No.
1077-TGA-XX-XX-DR-A-0229

Page 37

Previously Approved Site Layout Plan



Proposed Site Plan
Scale - 1:1000@A3

The drawing is the property of GWP Architects. Copyright is reserved by the author and no part of it may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of GWP Architects.

All drawings and specifications should be read in conjunction with the project health and safety plan, any possible conflicts should be presented to the relevant discipline.

All work to be carried out in accordance with current Building Regulations.

Contractors must verify all dimensions on the job before commencing any work or making shop drawings.

Written dimensions should be taken. Do not scale off drawings. Do not rely on digital dimensions from this drawing.

Any discrepancies to be reported to the Architect.



City of York Council Planning Committee Meeting on August 2021 Summex FHY Development Ltd

Rev	Date	Description	By	Check
12	10.01.20	Updated in line with GA Cycle provision plan	CT	BP
11	29.11.19	Landscape Updated	FG	BP
10	11.10.19	Garden Room Added	FG	RT
09	31.07.19	Revised following CYC Comms	JAM	RT
08	25.03.19	Submitted for Planning	FG	RT
07	13.03.19	Revised Particulate	JAM	BP

GWP Job Reference	(415)1808
Job Title	Frederick House Site, York
Client	Summex FHY Development Ltd

Proposed Site Plan	
Name	(415)1808-GWP-XX-00-DR-A-(PA)-0007
Scale	1:1000
Revision	P12
Drawn/Checked	JAM / RT
First Issue	25.10.18
Drawing Status	SO - WIP

- KEY**
- Site ownership boundary.
 - Site development boundary.
 - ▼ Building Entrances.
 - - - -> Cycle/pedestrian/vehicle/service route.
 - - - - - Outline of existing Frederick House.
 - ⊙ Building Storey Heights
 - Single storey building only
 - Existing Guard House
 - Proposed New Buildings
 - Cycle Parking Provision*
 - Bin Store - provision on this plan 12 bins.
 - Sub Station/tanks - in accordance with M&E requirements
 - Energy Centre - in accordance with M&E requirements
 - Potential future cycle storage (to reach 67% cycle provision)
 - FFL Proposed Floor Levels
 - Existing trees retained - extracted from Arboricultural survey report

Site Area within red line boundary 10,000m² / 1ha

Guard House - Central 'Hub'

Ground & First Floors:
Area 2,95m² (per floor)
Hub Accommodation comprising:
Central Admin Services
Toilets
Laundry
Gym
Social / Function Room
Private Study / Group Study
Rooms
Cinema Room

Total parking 9 spaces (includes 7 EA spaces)

+ Visitor Cycle Parking Provision - 18

+ Cycle provision internal/secure **194** (@53%)

SCHEDULE OF ACCOMMODATION

Building	Type	Total bedrooms
A	'Hub'	-
B	Studios/Study beds	83
C	Studios	60
D	Studios/Study beds	87
E	Townhouse	51
F	Studios	51
G	Townhouse	36
		368 (includes SEA)

Landscaping / external works shown indicatively - refer to Re-farm Landscape Architects drawings

This drawing based on OS Data
Blue/Red line boundaries extracted from Met Geo Environmental Topographical Survey - Drawing Ref P1700845_MET-EXT-TOP-M2-G_1



Block B – North and East Elevations



1 Block B North Elevation
1:100



2 Block B-East Elevation
1:100

- Materials Key**
1. Red Brick Cladding
 2. Light Red Brick Cladding
 3. Buff Brick Cladding
 4. Weatherboard vertical finish cladding (profiled)
 5. Aluminium framed doors with PPC finish
 6. Aluminium double glazed corner windows with PPC finish
 7. Metal persand wall coping with PPC finish
 8. a) Red brick vertical header projecting 10' detail
b) Light red brick vertical header projecting 10' detail
c) Buff brick vertical header projecting 10' detail
 9. Metal Juliet balcony with PPC finish (profiled)
 10. Metal panels and doors to bin/cycle stores (Special Panels)
 11. Weatherboard finish cladding with horizontal joints (profiled)
 12. Double glazed aluminium framed windows, obscured glass, with PPC finish
 13. Metal standing seam roof finish



City of York Council Planning Committee Meeting - 5th August 2021



7 Constance Street
Fourth MS
Manchester
M1C 4JZ
Tel: +44 (0)161 670 1152
www.timgroonarchitects.com

Copyright © 2018 Tim Groon Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced in whole or in part, whether in text, or by any means, including photocopying, recording or other electronic or mechanical methods, without the prior written permission of the copyright owner. No part of these drawings or designs may be reproduced or stored in any electronic retrieval system in any form or by any means without the prior written permission of the copyright owner. The copyright owner reserves all its moral rights and the right to be identified as the author of the drawings or designs. The drawings or designs have been executed by the copyright owner pursuant to an exclusive licence to the client and the use of these drawings or designs is limited to the client by the terms of the licence and all such permission and authority granted by the copyright owner under the licence terms automatically terminate upon the termination of the licence or in the event of any act of infringement being committed by the licensee. The copyright owner accepts and can have no liability or responsibility whatsoever for and in respect of any unauthorised or unlicensed use of or any reliance placed upon these drawings or designs. No works of construction relying on these drawings or designs are permitted under the terms of the above licence or otherwise without the express written consent and authority of the copyright owner.

Disclaimers
Figures and dimensions only to be taken from these drawings and drawings. Work to annotated dimensions only. All dimensions to be checked on site. Architects to be informed immediately of any discrepancies before work proceeds. Drawings are to be read in conjunction with relevant specifications, structural engineers and services engineers drawings. All drawings, dimensions and designs included in this document are confidential to the copyright owner and may not be communicated to any third party save in accordance with a licence for the copyright owner or with the copyright owner's written permission and authority.

Rev.	Description	Date
A	Issued for planning amendment	10.01.21
B	Revised proposals following discussions with CVC	24.02.21

Client: Watkin Jones
Project: Frederick House
The Block B Elevations 01
Status: Planning Amendment
Project number: 1077
Date: Jan 2021
Drawn by: MC
Checked by: CF
Scale: 1:100@A1
Revision: B
Drawing No: 1077-TGA-XX-XX-DR-A-0520

Block B – South and West Elevations



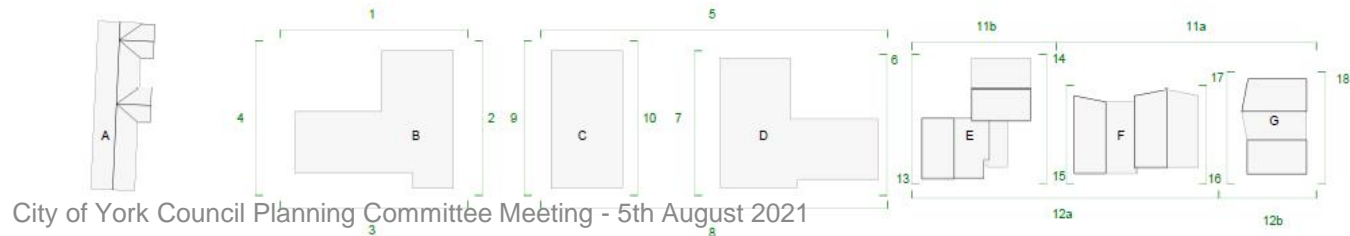
3 Block B South Elevation
1:100



4 Block B West Elevation
1:100

Materials Key

1. Red Brick Cladding
2. Light Red Brick Cladding
3. Buff Brick Cladding
4. Weatherboard vertical timber cladding (permitted)
5. Aluminium framed doors with PFC finish
6. Aluminium double glazed windows with PFC finish
7. Aluminium double glazed corner windows with PFC finish
8. Metal parapet wall coping with PFC finish
 - a) Red brick vertical header projecting 1/2 detail
 - b) Light red brick vertical header projecting 1/2 detail
 - c) Buff brick vertical header projecting 1/2 detail
9. Metal Juliet balcony with PFC finish (permitted)
10. Metal panels and doors to lift cycle stores 1/2 detail at Panels
11. Weatherboard cladding with horizontal joints (permitted)
12. Double glazed aluminium framed windows, obscured glass, with PFC finish
13. Metal standing seam roof finish



City of York Council Planning Committee Meeting - 5th August 2021



T I M
G A O D N
7 Costance Street
Knot MB
Middesbrough
M15 4JQ
Tel: +44 (0)187 670 1152
www.timgaodn.co.uk

Copyright © 2018 Tim Gaodn Architects
Limited. All rights reserved. No part of these
drawings or designs may be reproduced, in
whole or in part, whether in hard copy form
or by any means, including photocopying,
scanning or other electronic or mechanical
means, without the prior written permission of
the copyright owner. No part of these drawings
or designs may be reproduced or stored in any
electronic retrieval system in any form or by
any means without the prior written permission
of the copyright owner. The copyright owner
retains all its moral rights and the right to be
identified as the author of the drawings or
designs. The drawings or designs have been
executed by the copyright owner pursuant to an
exclusive licence to the client and the use of
these drawings or designs is limited to the client
by the terms of the licence and all such
permissions and authority granted by the
copyright owner under the licence shall
automatically terminate upon the termination of
the licence or in the event of any act of
infringement being committed by the licensee.
The copyright owner accepts no liability for
loss or responsibility whatsoever for and in
reliance on any unauthorised or unlicensed use
of or any reliance placed upon these drawings
or designs. No works of construction relying on
these drawings or designs are permitted under
the terms of the above licence or otherwise
without the express written consent and
authority of the copyright owner.

Dimensioning
Figured dimension only to be taken from these
drawings and design. Work to approximate
dimension only. All dimension to be checked
on site. Accuracy to be informed immediately
of any discrepancies before each process.
Changes are to be made in consultation with
relevant specifications, structural engineers and
service engineers' drawings. All data,
dimension and design contained in this
document are confidential to the copyright
owner and may not be communicated to any
third party in accordance with a licence for
the copyright owner or with the copyright
owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendment	15.01.21
B	Revised proposals following discussions with CVC	03.21

Client
Watkin Jones

Project
Frederick House

The
Block B Elevations 02

Status
Planning Amendment

Project number
1077

Date
Jan 2021

Drawn by
MC

Checked by
CF

Scale
1:100@A1

Revision
B

Drawing No.
1077-TGA-XX-XX-DR-A-0521

Blocks C and D – North Elevations



5 Block C and D North Elevation
1:100



6 Block D East Elevation
1:100

7 Block D West Elevation
1:100

Materials Key

1. Red Brick Cladding
2. Light Red Brick Cladding
3. Buff Brick Cladding
4. Weatherboard vertical brick cladding (vertical)
5. Aluminium Framed doors with PFC finish
6. Aluminium double glazed corner window with PFC finish
7. Aluminium double glazed corner window with PFC finish
8. Metal parapet wall capping with PFC finish
9. a) Red brick vertical leader projecting 150 detail
b) Light red brick vertical leader projecting 150 detail
c) Buff brick vertical leader projecting 150 detail
10. Metal Jubal lantern with PFC finish (vertical)
11. Metal panels and doors to bin / cycle stores / Spandrel Panels
12. Weatherboard brick cladding with horizontal joints (vertical)
13. Double glazed aluminium framed window, obscured glass, with PFC finish
14. Metal standing seam roof finish



City of York Council Planning Committee Meeting - 5th August 2021

TIM GROOM
7 Colindale Street
Kings Hill
Barnet
Middlesex
HA5 4JD
Tel: +44 (0)20 870 1102
www.timgroom.co.uk

Copyright © 2018 Tim Groom Architects Limited. All rights reserved. No part of these drawings or design may be reproduced, in whole or in part, whether in any form or by any means, including photocopying, recording or other electronic or mechanical methods, without the prior written permission of the copyright owner. No part of these drawings or design may be reproduced or stored in any electronic retrieval system in any form or by any means without the prior written permission of the copyright owner. The copyright owner reserves all its moral rights and the right to be identified as the author of the drawings or designs. The drawings or design have been executed by the copyright owner pursuant to an exclusive license in the client and the use of these drawings or designs is limited to the client by the terms of the license and all such permission and authority granted by the copyright owner under the license terms automatically terminate upon the termination of the license or in the event of any act of insolvency being committed by the licensee. The copyright owner accepts and can have no liability or responsibility whatsoever for and in respect of any unauthorised or unlicensed use of or any reliance placed upon these drawings or designs. No works of construction relating to these drawings or designs are permitted under the terms of the license without the express written consent and authority of the copyright owner.

Dimensioning
Figured dimensions only to be taken from these drawings and drawings. Work to annotated dimensions only. All dimensions to be checked on site. Accuracy to be verified immediately of any discrepancies before work proceeds. Changes are to be made in consultation with relevant specifications, structural engineers and service engineers' drawings. All date dimensions and design contained in this document are confidential to the copyright owner and may not be communicated to any third party without the prior written consent of the copyright owner or with the copyright owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendment	15.01.21
B	Revised proposals following discussions with CHC	24.03.21

Block D – East and West Elevations



Client: Watkin Jones
Project: Frederick House
Title: Block C & D Elevations 01
Status: Planning Amendment
Project number: 1077
Date: Jan 2021
Drawn by: MC
Checked by: CF
Scale: 1:100@A1
Revision: B
Drawing No: 1077-TGA-XX-XX-DR-A-0522

Blocks C and D – South Elevations



8 Block C and D South Elevation
1 : 100

Block C – West and East Elevations

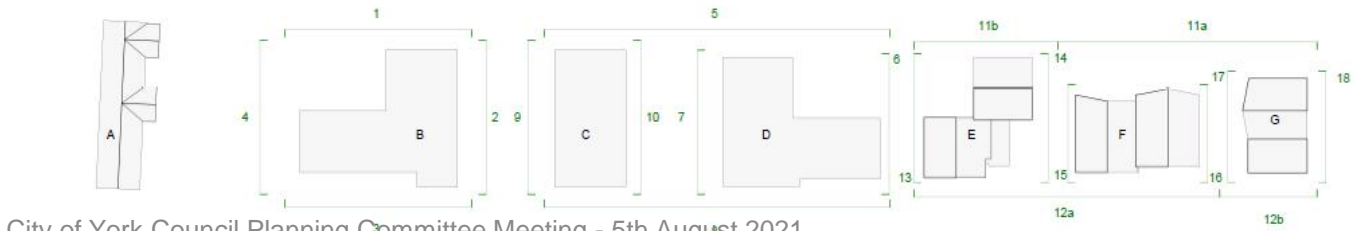


9 Block C West Elevation
1 : 100



10 Block C East Elevation
1 : 100

- Materials Key**
1. Red Brick Cladding
 2. Light Red Brick Cladding
 3. Buff Brick Cladding
 4. Weatherboard vertical timber cladding (mitred)
 5. Aluminium framed glass windows with PPC finish
 6. Aluminium double glazed corner windows with PPC finish
 7. Metal parapet wall cladding with PPC finish
 8. a) Red brick vertical header projecting 150 detail
b) Light red brick vertical header projecting 150 detail
c) Buff brick vertical header projecting 150 detail
 9. Metal Juliet balcony with PPC finish (mitred)
 10. Metal panels and doors to lift cycle stores / Opened Panels
 11. Weatherboard timber cladding with horizontal joints (mitred)
 12. Double glazed aluminium framed windows, obscured glass, with PPC finish
 13. Metal cladding seen roof finish
 - 14.



City of York Council Planning Committee Meeting - 5th August 2021



7 Courthouse Street
Leeds LS1
Municipality
M15 4JG
Tel: +44 (0)113 670 1152
www.timbrock.com

Copyright © 2018 Tim Dixon Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced, in whole or in part, whether in any form or by any means, including photocopying, recording or other electronic or mechanical methods, without the prior written permission of the copyright owner. No part of these drawings or designs may be reproduced or stored in any electronic retrieval system in any form or by any means without the prior written permission of the copyright owner. The copyright owner reserves all the moral rights and the right to be identified as the author of the drawings or designs. The design or design right to be associated by the copyright owner pursuant to an exclusive licence to the client and the use of these drawings or designs is limited to the client by the terms of the licence and all such permissions and authority granted by the copyright owner under the licence terms automatically terminate upon the termination of the licence or in the event of any act of insolvency being committed by the licensee. The copyright owner accepts and can have no liability or responsibility whatsoever for and in respect of any unauthorised or unlicensed use of or any reliance placed upon these drawings or designs. No service of construction relating to these drawings or designs are permitted under the terms of the licence unless otherwise stated without the express written consent and authority of the copyright owner.

Dimensioning
Figured dimensions only to be taken from these drawings and drawings. Work to annotated dimensions only. All dimensions to be checked or site. Architects to be informed immediately of any discrepancies before work proceeds. Drawings are to be used in conjunction with relevant specifications, structural engineers and services engineers' drawings. All data, dimensions and design contained in this document are confidential to the copyright owner and may not be communicated to any third party save in accordance with a licence for the copyright owner or with the copyright owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendment	15.01.21
B	Revised proposals following discussions with CVC	24.03.21

Client
Watkin Jones

Project
Frederick House

The
Block C & D Elevations 02

Status
Planning Amendment

Project number
1077

Date
Jan 2021

Drawn by
MC

Checked by
CF

Scale
1 : 100@A1

Revision
B

Drawing No.
1077-TGA-XX-XX-DR-A-0623

Block E – West and East Elevations



13 Block E West Elevation
1: 100



14 Block E East Elevation
1: 100

Block F – West and East Elevations



15 Block F West Elevation
1: 100



16 Block F East Elevation
1: 100

- Materials Key**
- 1 Red Brick Cladding
 - 2 Light Red Brick Cladding
 - 3 Buff Brick Cladding
 - 4 Weatherboard vertical fibre cladding (omitted)
 - 5 Aluminium Framed doors with PFC finish
 - 6 Aluminium double glazed corner windows with PFC finish
 - 7 Aluminium double glazed window with PFC finish
 - 8 Metal parapet wall capping with PFC finish
 - 9 a) Red brick vertical header projecting 100 detail
b) Light red brick vertical header projecting 100 detail
c) Buff brick vertical header projecting 100 detail
 - 10 Metal Juliet balcony with PFC finish (omitted)
 - 11 Metal panels and doors to lift / cycle stores / overhead Panels
 - 12 Weatherboard fibre cladding with horizontal joints (omitted)
 - 13 Double glazed aluminium framed windows, obscured glass, with PFC finish
 - 14 Metal cladding screen roof finish



City of York Council Planning Committee Meeting - 5th August 2021



Copyright © 2018 The Simons Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced, in whole or in part, whether in any form, in any medium, or by any means, including photocopying, recording or other electronic or mechanical methods, without the prior written permission of the copyright owner. No use of these drawings or designs may be reproduced or stored in any electronic retrieval system or by any means without the prior written permission of the copyright owner. The copyright owner reserves all its moral rights and the right to be identified as the author of these drawings or designs. The drawings or designs have been executed by the copyright owner pursuant to an exclusive licence to be used and the use of these drawings or designs is limited to the client by the terms of the licence and all such permission and authority granted by the copyright owner under the licence terms automatically terminate upon the termination of the licence or in the event of any act of infringement being committed by the licensee. The copyright owner accepts and can have no liability or responsibility whatsoever for and in respect of any unauthorised or unlicensed use of or any reliance placed upon these drawings or designs. No works of construction relying on these drawings or designs are permitted under the terms of the above licence or otherwise without the express written consent and authority of the copyright owner.

Disclaimers
Figures dimensioned only to be taken from these drawings and drawings. Plans to annotated dimensions only. All dimensions to be checked on site. Contractors to be informed immediately of any discrepancies before work proceeds. Drawings are to be used in conjunction with relevant specifications, structural engineering and service engineer's drawings. All data, dimensions and designs contained in this document are confidential to the copyright owner and may not be communicated to any third party save in accordance with a licence for the copyright owner or with the copyright owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendment	15.01.21
B	Revised proposals following discussions with CIC	24.02.21

Client: Watkin Jones
Project: Frederick House
Title: Block E & F Elevations
Status: Planning Amendment
Project number: 1077
Date: Jan 2021
Drawn by: MC
Checked by: CF
Scale: 1: 100@A1
Revision: B
Drawing No: 1077-TGA-XX-XX-DR-A-0526

Blocks E, F and G – North Elevations



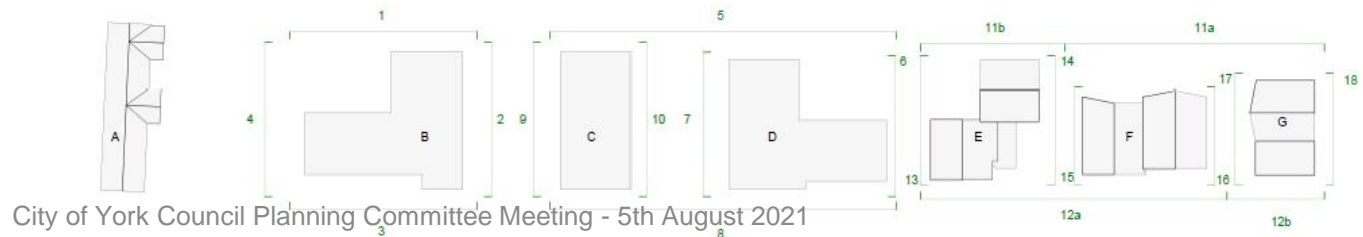
11a Block E F & G North Elevation
1:100



11b Block E F & G North Elevation (b)
1:100

Materials Key

1. Red Brick Cladding
2. Light Red Brick Cladding
3. Buff Brick Cladding
4. Weatherboard vertical timber cladding (mitred)
5. Aluminium framed doors with PFC finish
6. Aluminium double glazed corner windows with PFC finish
7. Aluminium double glazed corner windows with PFC finish
8. Metal parapet and coping with PFC finish
9. a) Red brick vertical header projecting 150 detail
b) Light red brick vertical header projecting 150 detail
c) Buff brick vertical header projecting 150 detail
10. Metal Jailed balcony with PFC finish (mitred)
11. Metal panels and doors to balcony doors/panels
12. Weatherboard timber cladding with horizontal joints (mitred)
13. Double glazed aluminium framed windows, obscured glass, with PFC finish
14. Metal cladding screen roof finish



T J M
Architects
7 Clarence Street
Knot Mill
Manchester
M15 4JQ
Tel: +44 (0)161 670 1100
www.tjmarchitects.com

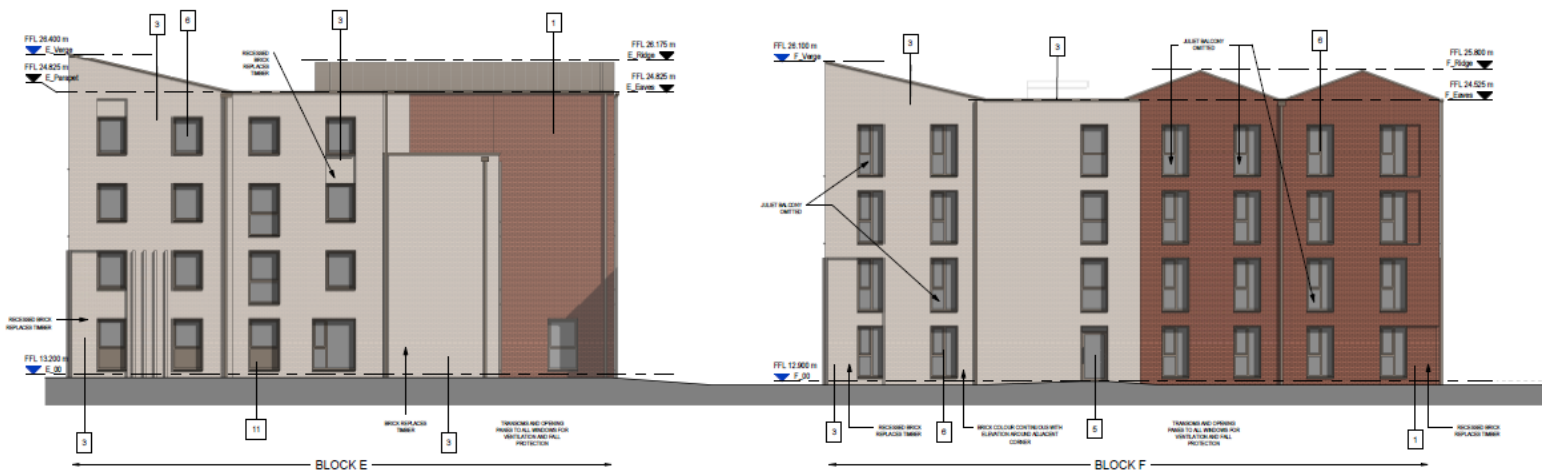
Copyright © 2018 T J M Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced, in whole or in part, without the prior written permission of the copyright owner. The copyright owner reserves all its rights and the right to be identified as the author of the drawings or designs. The design or design has been executed by the copyright owner pursuant to an exclusive licence to be client and the use of these drawings or designs is limited to the client by the terms of the licence and all such permissions and authority granted by the copyright owner under the licence terms automatically terminate upon the termination of the licence or in the event of any act of insolvency being committed by the licensee. The copyright owner accepts and can have no liability or responsibility whatsoever for and in respect of any unauthorised or otherwise use of or any reliance placed upon these drawings or designs. No works of construction arising from these drawings or designs are permitted under the terms of the licence unless otherwise stated without the express written consent and authority of the copyright owner.

Dimensioning
Figure dimensions only to be taken from these drawings and drawings. Work to associated dimensions only. All dimensions to be checked of site. Architects to be informed immediately if any discrepancies arise with proceeds. Drawings are to be read in conjunction with relevant specifications, technical engineers and service engineers' drawings. All data, dimensions and design contained in this document are confidential to the copyright owner and may not be communicated to any third party save in accordance with a licence for the copyright owner or with the copyright owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendment	15.01.21
B	Revised proposals and discussions with CVC	4.03.21

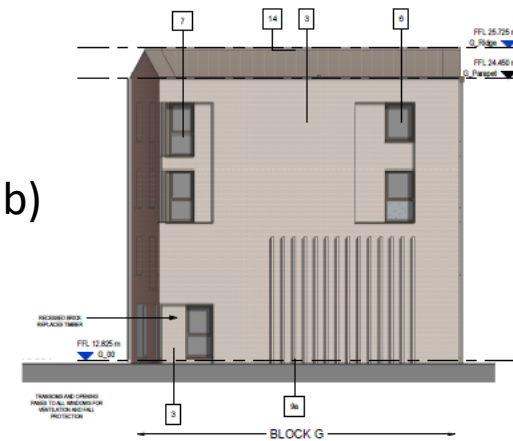
Client: Watkin Jones
Project: Frederick House
The Block E F & G Elevations 01
Status: Planning Amendment
Project number: 1077
Date: Jan 2021
Drawn by: MC
Checked by: CF
Scale: 1:100@A1
Revision: B
Drawing No: 1077-TGA-XX-XX-DR-A-0524

Blocks E, F and G – South Elevations



12a Block E F & G South Elevation
1 : 100

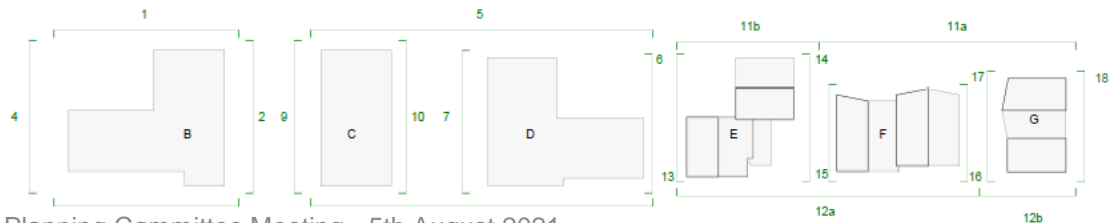
Blocks E, F and G – South Elevation (b)



12b Block E F & G South Elevation
1 : 100

Materials Key

1. Red Brick Cladding
2. Light Red Brick Cladding
3. Buff Brick Cladding
4. Weatherboard vertical timber cladding (profiled)
5. Aluminium framed doors with PFC finish
6. Aluminium double glazed windows with PFC finish
7. Metal parapet wall capping with PFC finish
8. a) Red brick vertical header projecting 1/2" detail
b) Light red brick vertical header projecting 1/2" detail
c) Buff brick vertical header projecting 1/2" detail
9. Metal Juliet balcony with PFC finish (profiled)
10. Metal panels and doors to lift/cycle stores (operated Panels)
11. Weatherboard timber cladding with horizontal joints (profiled)
12. Double glazed aluminium framed windows, obscured glass, with PFC finish
13. Metal cladding seen roof finish
- 14.



TIM GROUND
7 Colchester Street
Knots Mill
Manchester
M15 4JQ
Tel: +44 (0)161 870 1122
www.timground.com

Copyright © 2018 Tim Ground Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced, in whole or in part, whether by any means, electronic or mechanical, including photocopying, recording or other electronic or mechanical methods, without the prior written permission of the copyright owner. No part of these drawings or designs may be reproduced or stored in any electronic retrieval system or transmitted in any form or by any means without the prior written permission of the copyright owner. The copyright owner reserves all its moral rights and the right to be identified as the author of the drawings or designs. The drawings or designs have been created by the copyright owner for the client and the use of these drawings or designs is limited to the client by the terms of the licence and all such permission and authority granted by the copyright owner under the licence terms shall terminate upon the termination of the licence or in the event of any act of infringement being committed by the licensee. The copyright owner accepts and can have no liability or responsibility whatsoever for and is not to be held liable for any use of any drawings or designs or any part thereof, in any way, without the prior written permission of the copyright owner. The copyright owner's permission is given under the terms of the licence and otherwise without the express written consent and authority of the copyright owner.

Dimensioning
Figure Dimensions only to be taken from these drawings and drawings. Work to standard dimensioning rules. All dimensions to be checked on site. Architects to be informed immediately of any discrepancies before work proceeds. Drawings are to be made in conjunction with relevant specifications, structural engineers and service engineers drawings. All site dimensions and designs described in this document are confidential to the copyright owner and may not be communicated in any form or by any means without the prior written permission of the copyright owner or with the copyright owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendment	15.01.21
B	Revised proposals following discussion with CMC	24.03.21

Client
Watkin Jones

Project
Frederick House

Title
Block E F & G Elevations 02

Status
Planning Amendment

Project number
1077

Date
Jan 2021

Drawn by
MC

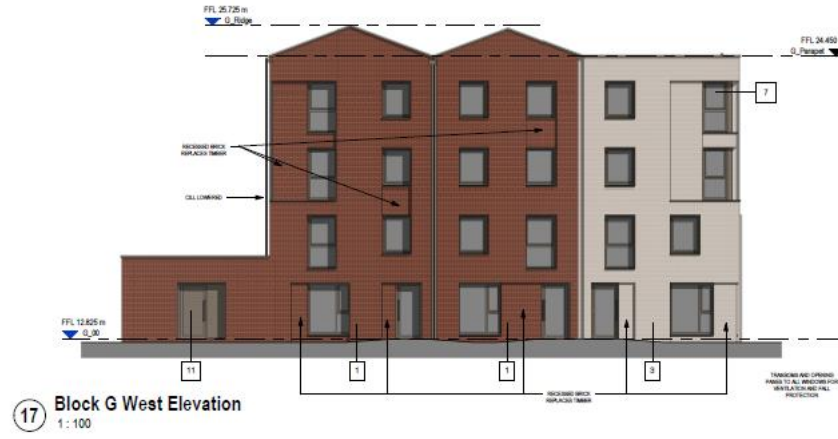
Checked by
CF

Scale
1 : 100@A1

Revision
B

Drawing No.
1077-TGA-XX-XX-DR-A-0525

Block G – West and East Elevations



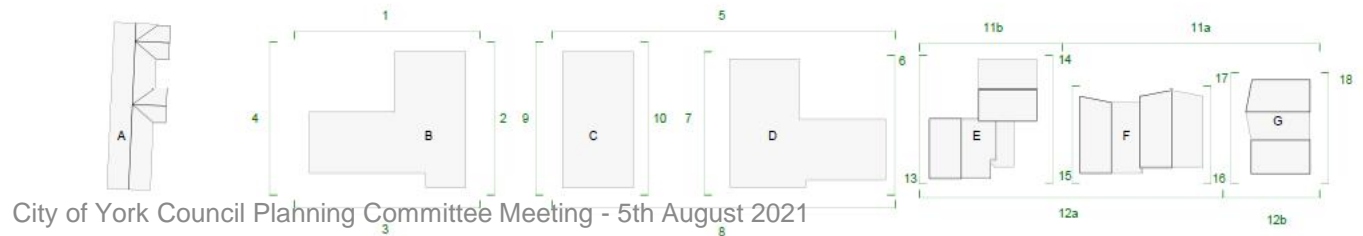
17 Block G West Elevation
1:100



18 Block G East Elevation
1:100

Materials Key

1. Red Brick Cladding
2. Light Red Brick Cladding
3. Buff Brick Cladding
4. Weatherboard vertical brick cladding (vertical)
5. Aluminium Framed doors with PPC finish
6. Aluminium double glazed windows with PPC finish
7. Aluminium double glazed corner windows with PPC finish
8. Metal parapet wall cladding with PPC finish
9. a) Red brick vertical header projecting 150 detail
b) Buff brick vertical header projecting 150 detail
10. Metal Juliet balcony with PPC finish (vertical)
11. Metal parapet windows to be cyclo-stair / special Panels
12. Weatherboard brick cladding with horizontal joints (vertical)
13. Double glazed aluminium framed windows, obscured glass, with PPC finish
14. Metal cladding over roof finish



City of York Council Planning Committee Meeting - 5th August 2021



TIM CROSS ARCHITECTS
7 Constance Street
Loose Mill
Manchester
M15 4JG
Tel: +44 (0)161 870 1152
www.timcrossarchitects.com

Copyright © 2018 Tim Cross Architects Limited. All rights reserved. No part of these drawings or designs may be reproduced, in whole or in part, whether in hard or electronic form, without the prior written permission of the copyright owner. No part of these drawings or designs may be reproduced or stored in any electronic retrieval system or any form of any means without the prior written permission of the copyright owner. The copyright owner reserves all its moral rights and the right to be identified as the author of the drawings or designs. The drawings or designs have been executed by the copyright owner and are the work of the copyright owner and the use of these drawings or designs is limited to the extent of the copyright owner's consent and authority of the copyright owner under the licence terms. The copyright owner accepts and can have no liability or responsibility whatsoever for and in respect of any unauthorised or unlicensed use of or any reliance placed upon these drawings or designs. No works of construction relying on these drawings or designs are permitted under the terms of the above licence or otherwise without the express written consent and authority of the copyright owner.

Dimensioning
Typed dimensions only to be taken from these drawings and designs. Work to associated dimensions only. All dimensions to be checked on site. Architects to be informed immediately of any discrepancies before work proceeds. Drawings are to be read in conjunction with relevant specifications, structural engineers and services engineers' drawings. All data, dimensions and designs contained in this document are confidential to the copyright owner and may not be communicated to any third party save in accordance with a licence for the copyright owner or with the copyright owner's written permission and authority.

Rev	Description	Date
A	Issued for planning amendments	11/21
B	Revised proposals following discussions with CIC	03/21

Client
Watkin Jones

Project
Frederick House

The
Block G Elevations

Status
Planning Amendment

Project number
10777

Date
Jan 2021

Drawn by
MC

Checked by
CF

Scale
1:100@A1

Revision
B

Drawing No.
1077-TGA-XX-XX-DR-A-0527

Landscape Layout

- LEGEND**
- Large Trees**
Large heavy standard, to 20m girth, 4-5m height. Secured with timber stow and rubber tree tie. Irrigation ring, example species: Betula pendula, Liquidambar styraciflua, Ginkgo biloba.
 - Trees within Self-Watering Driveway**
Irrigation ring for a heavy standard. Example species: Thuja occidentalis, Buxford Form.
 - Small Multi-Stemmed Trees**
2.5-3.0m height. Secured with double timber stakes and rubber tree ties. Irrigation ring. Example species: Amelanchier, Prunus serotina.
 - Shrub and Herbaceous Planting**
Planted as 16 pots, 30 per m². 30cm bark mulch.
 - Lawn**
Hard wearing turfgrass seed.
 - Wildflower Meadow**
Standard General Purpose Meadow Mix by Ecoterra or similar approved. Sown at 5 per m².
 - Timber Plank Style Tables**
Buckingham Palace Set by Bully Stonehouse or similar approved. Douglas fir and powder coated steel, RAL to match building details.
 - Timber Benches**
Oxford Bench by Bully Stonehouse or similar approved. Douglas fir.
 - Timber Stool**
Oxford Stool by Bully Stonehouse or similar approved. Douglas fir.
 - Table Tennis Table**
Combi-Play Park Outdoor Table Tennis Table by Jorace or similar approved.
 - Light Buff Frames**
Timber buff by Tarmec or contractor choice as approved.
 - Concrete Block Paving**
Tegula 150x150 or Cedar by Tubermore or similar approved. Mixed plan ions.
 - Green Paving (Essexcrete style)**
Essex-type 100 by Hardscape or similar approved. Mixed plan ions.
 - Linear Concrete Slab Paving**
Marshall's Graphite by Tubermore or similar approved. 60x30x50mm.
 - Self-Watering Driveway**
Gravel from 100mm to 150mm or similar approved. To provide permeable surface for trees. Topsoil block paving laid in weather cover for edging.
 - Pine Gravel Border**
400mm wide pine gravel border around buildings for drainage and maintenance. 20mm depth. 100mm membrane under gravel and timber edging to separate from planting.
 - Treated Concrete Kerb with 100mm compact Conservation Earth in Cream by Marshall's or similar approved.** 40x100x100mm.
 - Block Paving Border**
Tegula 150mm in natural by Tubermore or similar approved. Two blocks deep laid in running bond.
 - Dwarf Retaining Wall**
Perisite 100.
 - 1.5m Railings**
1.5m tall powder coated steel railings and gate with 40mm radius trees.
 - 1.2m Brick Wall and Railings**
1200mm brick wall with 1000mm brick pier and 700mm railings. RAL 7008. Bricks to match building materials.
 - 1.2m Railings**
1.2m Powder Coated Railings. RAL 7008.
 - Edging Brick Wall and New Fence**
Edging 1.2m brick wall with new 1000mm timber fence fixed to top of wall.
 - Edging Brick Wall to be Retained**
 - Outline of below ground water storage tanks**
 - Permeable Tarmac**
Fibrel to pedestrian footpath over root zones. Specialist contractor choice as approved.
 - Sedum Roof**
Green Sedum roof.
 - Impact Wall**
Block wall. Filled with recycled materials from the site.
 - Bat Boxes**
See also ecologist report.
 - Swift Boxes**
See also ecologist report.
 - Electric Charging Point**

GENERAL NOTES

1. This drawing is the copyright of tpm landscape Ltd and cannot be reproduced in any form without the consent of the company.
2. This drawing is to be read in conjunction with detail landscape drawings, details and specification.
3. This drawing is to be read in conjunction with all relevant Architect, Engineer's, Specialist, Bills of Materials and Specifications.
4. The inclusion of any firm or proprietary brand on this drawing is an indication of the class or quality required and does not exclude the use of alternative materials that are equal in performance, quality and appearance, provided that they have been approved in writing by the Landscape Architect.
5. The Contractor is responsible for accurately ascertaining the position of underground services and responding to all relevant service assessment requirements.
6. All dimensions are in millimetres unless stated otherwise, for the purposes of this drawing only, and shall be subject to the tolerance of the manufacturer. Dimensions and other measurements shall be taken on site. The contractor is required to check all dimensions of the site prior to construction.
7. All work and materials are to be in accordance with the relevant British Standards and Code of Practice.
8. All Proprietary products are to be used strictly in accordance with the manufacturer's instructions and details.



REVISION NOTES		
Rev.	Description	Date
1	Updated in line with drainage layout	12.05.21
2	Updated in line with comments	07.05.21
3	Bat and swift boxes added	06.04.21
4	Medium roof to east building	25.05.21
5	Planting beds added, coordinate reposition	06.04.21
6	Green paving added	23.05.21
7	entrance realigned to existing kerb	16.05.21
8	Levels around Block D amended	22.01.21
9	Levels amended and drainage	12.01.21
10	Detail added	02.12.20

Client	Watkin Jones	N ↑
Project	Frederick House, York	
Description	Landscape Layout	
Status	For Approval	
Scale @ A1	Drawn	Checked
	1:250	EG CT
Job number	3473	Drawing number
	101	Revision
		L



Photograph – Block B



Photograph – Block C



Photograph – Block D



Photograph – Block E



Photograph – Block F



Photograph – Block G



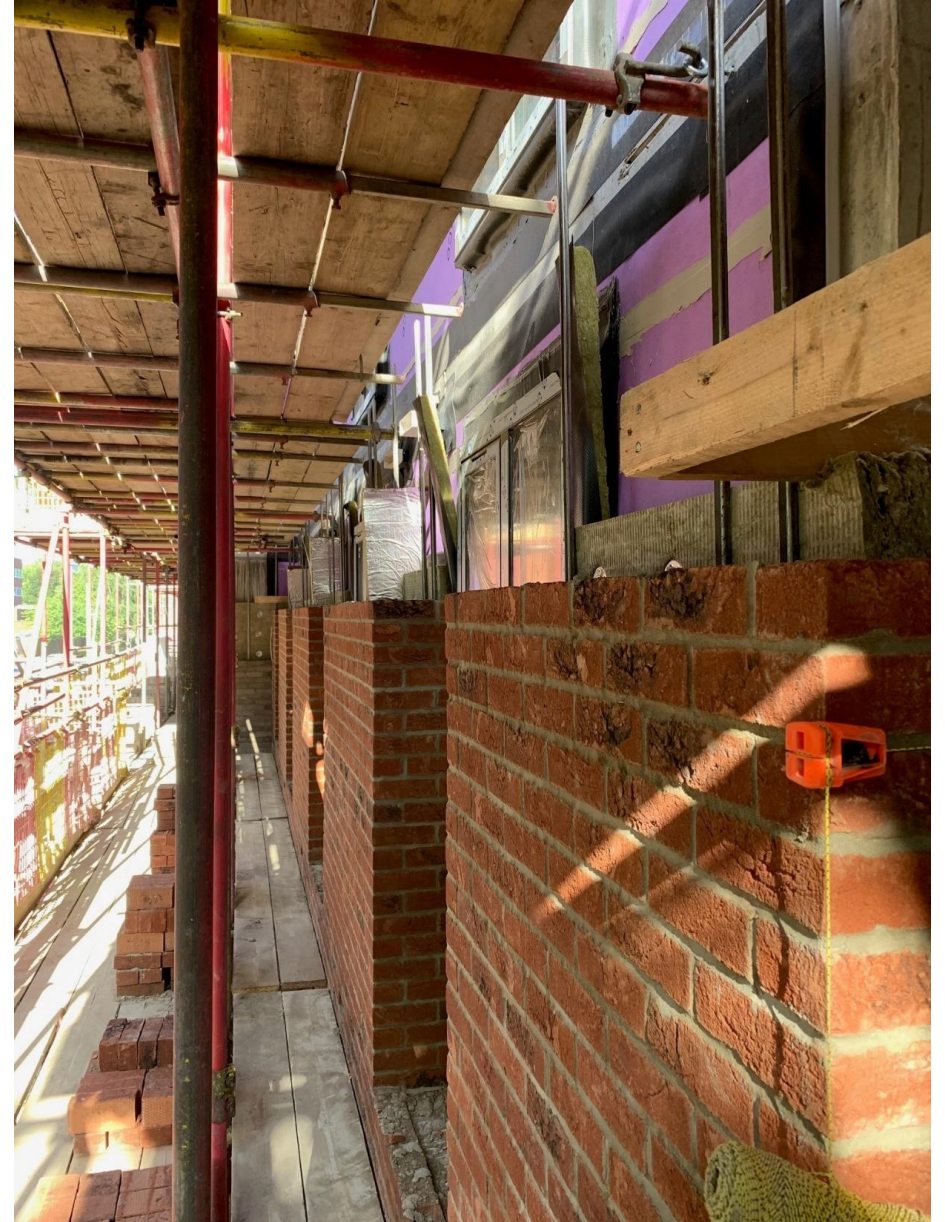
Photograph – View from Block F towards Guard House



Photograph – View from
Guard House towards Block G



Photograph –
Brickwork 1 and
Brickwork 2



Photograph – View from Entrance



Photograph – View from Entrance (2)



Photograph – View
from Fulford Road



This page is intentionally left blank